

**BOARD OF ZONING ADJUSTMENT
441 4th STREET N.W., SUITE 200S
WASHINGTON, DC 20011**

IN RE APPEAL OF:

Advisory Neighborhood Commission 4C,

Appellant,

DEPARTMENT OF CONSUMER & REGULATORY
AFFAIRS

Respondent.

BZA No. 19067

APPELLANT’S SUPPLEMENTAL STATEMENT IN SUPPORT OF APPEAL

Appellant respectfully submits this Supplemental Statement in support of its appeal and requests that the Board of Zoning Adjustment (“Board”) revoke Building Permit B1505734 (“the May Permit”).

I. Procedural Background

On May 27, 2015, the Department of Consumer and Regulatory Affairs (“DCRA”) issued the May Permit to convert a one-family row dwelling located at 1117 Allison St. NW (“Subject Property”) into a three-unit apartment house. ANC 4C filed the appeal on June 12, 2015 alleging that the Zoning Administrator erred in applying the Zoning Regulations. The hearing was scheduled for September 29, 2015. On September 15, 2015 Appellant filed its Pre-Hearing Statement in support of the appeal. *See* BZA Case Exhibit #19 (Pre-Hearing Statement from ANC 4C). Among other arguments in its Statement, ANC 4C asserted that DCRA erroneously issued the May Permit, and that the Zoning Administrator acted arbitrarily and capriciously when he granted minor flexibility from the maximum percentage of lot occupancy.

On September 23, 2015, DCRA filed a motion requesting a three-week continuance to give the Permit Holder, at the Zoning Administrator's request, an opportunity to submit "more detailed plans" on the planned construction. *See* BZA Case Exhibit #25 (DCRA's Motion for Continuance). Appellant opposed the motion asserting that the Zoning Administrator's decision to approve the May Permit should have been based on the information submitted and reviewed before the permit was issued. It appears that DCRA intended to allow the Permit Holder to amend the building plans retroactively to, among other things, reduce the lot occupancy to comply with the now-repealed R-4 Zoning Regulations. *See* BZA Case Exhibit #38 (Appellant's Opposition to Motion for Continuance).

II. Revised Building Plans

On October 8, 2015, DCRA provided revised building plans to Appellant ("Revised Plans").¹ *See* BZA Case Exhibit #44 (Revised Building Plans). DCRA asserted that the Revised Plans corrected a "clerical error" in calculation of lot occupancy on Sheets A1 and C1. However, in reality, the Revised Plans contain material and substantive changes to the plans that constitute an amendment to the May Permit, requiring application of the current regulations.²

For example, the Revised Plans now indicate that the front porch will be removed. *See* Exhibits 1 and 2. However, the plans for the May Permit approved on May 27, 2015, show that the existing front porch will remain and not change. *See* Exhibits 3, 4, and 5. In addition, the front porch is included in the proposed lot area coverage of 1933 sq ft for the May Permit. *See* Exhibits 5 and 6. The front porch is not included in the proposed lot area coverage and percentage of lot occupancy in the Revised Plans. *See* Exhibit 7.

¹ On October 13, 2015, Permit application #B1600488, which is the amended application to the May Permit, was entered into DCRA's online permit tracking system.

² 11 DCMR § 3202.4(b).

As additional background on the conversion of the Subject Property, on February 6, 2015, DCRA issued Building Permit #B1409828 (“February Permit”) to convert the Subject Property into a three unit condominium. The footprint of the building for the February Permit essentially was identical to the footprint of the building for the May Permit that is the subject of this appeal. The building plans for the February Permit also demonstrate that the front porch would have remained and not change, and it appears that the front porch was included in the proposed lot area coverage of 1933 sq ft. *See* Exhibits 8, 9, 10 and 11. On March 17, 2015, DCRA issued a Notice to Revoke the February Permit because it was issued in violation of several building codes.³ On March 26, 2015, the Permit Holder filed permit application B1505734 (the May Permit) to convert the Subject Property using substantially similar building plans. In May 2015 the revocation of the February Permit became final.

III. Legal Arguments

A. The May Permit building plans contain multiple inconsistencies and inaccuracies that would have made it impossible for DCRA to determine the correct percentage of lot occupancy.

Sheets A1, A4 and C1 of the May Permit building plans contain significant errors and inconsistencies regarding the dimensions of the proposed apartment building and the percentage of lot occupancy. *See* Exhibit 12, pp. 3-5, 7-8. Revised Sheets A1 and C1 show that the proposed lot coverage for the apartment building is 1933 sq ft, which results in a calculated lot occupancy of 61.8 percent. *See* Exhibits 5 and 6. However, using the information and dimensions provided on Revised Sheet A4 of the proposed first floor plan results in a calculated lot occupancy of 58.67 percent. *See* Exhibit 4. Finally, using the same dimensions provided on Revised Sheet C1 results in a calculated lot occupancy of 61.57 percent. *See* Exhibit 5.

³ During the permit application process, the Permit Holder asserted that he would raise the neighbor’s chimney because the new addition would be too close to and higher than the neighbor’s chimney in violation of the Building Code. However, the neighbor neither knew of this assertion nor consented to him raising her chimney.

As is discussed further below, because the building plans inaccurately represent the dimensions of the front porch, the proposed lot area coverage is greater than what is indicated on Sheets A1, A4 and C1 of the May Permit building plans. Using the correct measurements of the front porch and the dimensions in the May Permit building plan, the calculated lot occupancy from Revised Sheets A4 and C1 are 59.82 percent and 62.70 percent, respectively. *See Exhibit 12, pp. 3-4, 7-8.*

With these apparent inconsistencies and errors in the building plans, it was impossible for the Zoning Administrator to correctly determine the percentage of lot occupancy for the proposed apartment building when he approved the zoning review. As is evident from the May Permit building plans, there are three different possibilities for lot occupancy, two of which result in lot occupancy greater than 60 percent. One of the possible lot occupancy calculations is 62.70 percent and is outside the authority of the Zoning Administrator's approval. In addition, the Zoning Administrator approved the zoning review on March 27, 2015, only one day after the permit application was filed. *See Exhibit 13.* Considering the unresolved inaccuracies and inconsistencies in the building plans, the different calculations of lot occupancy and the rapid review, the Zoning Administrator did not thoroughly and accurately review the building plans for compliance with lot occupancy and other provisions of the Zoning Regulations.

B. The Zoning Administrator's request for revised plans is an admission that the decision to grant minor flexibility to allow a deviation from the maximum percentage of lot occupancy was arbitrary and capricious.

The Zoning Administrator's decision to request additional information to support the percentage of lot occupancy is clear and convincing evidence that the Zoning Administrator's minor flexibility decision was arbitrary and capricious. The Zoning Administrator's decision to approve the zoning review was based on information submitted with the permit application. If

he needed additional information from the Permit Holder he was required to request and review such information before the permit was issued. It appears that the Zoning Administrator regarded the building plans submitted with the permit application sufficiently detailed when he approved the permit. If the building plans were deficient, DCRA should not have issued the May Permit.

Although DCRA contends that the May Permit was properly issued, the Zoning Administrator requested revised building plans one week after Appellant filed its Pre-Hearing Statement asserting that the Zoning Administrator did not conduct a qualitative analysis of the effect of his decision to allow minor flexibility from the lot occupancy requirements prior to approving the permit. *See* BZA Exhibit #19, pp. 4-8 (Appellant's Pre-Hearing Statement). Revised building plans would not be necessary if the permit had been approved with careful thought and a qualitative analysis of whether the deviation from the lot occupancy requirements would impair the purpose of the Zoning Regulations. Revised building plans deliberately designed to support after the fact the Zoning Administrator's decision to approve the May Permit will not substitute for that lack of analysis.

C. In the Revised Plans the Permit Holder changed the building plans to remove the front porch which is a substantive and material change to the building plans and an amendment to the May Permit.

In the Revised Plans submitted on October 8, 2015, the proposed lot area coverage of the proposed apartment building is indicated as 1768.2 sq ft, and the percentage of lot occupancy has decreased to 57%. *See* Exhibit 7. These reductions occurred because the Permit Holder removed the front porch in the Revised Plans. *See* Exhibits 1 and 2. However, the same Sheets A3 and C1 for the May Permit clearly show that the front porch will remain part of the proposed apartment building. There is no notation or indication in the May Permit building plans that the

front porch will be removed. *See* Exhibits 3, 4 and 5. Both Sheets A3 and C1 of the May Permit building plans clearly depict that the front porch is part of the new building. This is a material and substantive change in the building plans requiring an amendment to the May Permit.

In contrast, the building plans for the May Permit are explicit about other parts of the building that will be removed. For example, the notation on the same Sheet A3 for the May Permit shows that the exterior walls on the rear porch will be removed. *See* Exhibit 3. Likewise, the notation on Sheet C1 for the May Permit shows that the garage will be removed. *See* Exhibit 5. Neither of these sheets indicates that the front porch will be demolished.

Contrary to what DCRA alleged, the change in the percentage of lot occupancy in the Revised Plans submitted on October 8, 2015 is not due to a minor error in calculation but to a change in the structure of the proposed building. Although DCRA and the Permit Holder stated that changes in the Revised Plans are designated with “bubbles”, the building plans do not show bubbles for the new demolition of the front porch. This either is an oversight or an intentional misrepresentation of the building plan revisions. Furthermore, building plans for the February Permit to convert the same property to an apartment building with essentially the same building footprint illustrate that the front porch would have been part of that proposed apartment building. *See* Exhibits 8, 9, 10 and 11. These building plans for permits approved in February and May 2015 clearly depict that the existing front porch will not be demolished.

Moreover, the measurement of the existing front porch on the Subject Property is inaccurate. The existing front porch is at least 8 feet deep. *See* Exhibits 14, 15 and 16. Exhibits 14, 15 and 16 show the measurement of the porch at 1115 Allison St., NW, the adjoining property to the east of the Subject Property. Both 1115 Allison and the Subject Property were built at the same time by the same developer, and the properties are identical. *See* Exhibit 17 and

BZA Exhibit #22 (Allison Street Original Lot Details). The floor of the front porch of 1115 is not the original floor and was replaced by concrete. The floor of that porch measures 8 feet deep. *See* Exhibits 14, 15 and 16.⁴ Contrary to the dimensions conveyed in all the building plans submitted to DCRA, the measurement of the existing front porch on the Subject Property is at least 8 feet deep. *See* Exhibits 14, 15 and 16. Exhibit 16 illustrates that 1115's porch is shallower than the porch of the Subject Property. Because the front porch of the Subject Property is at least 8 feet deep, the reported dimensions of the existing front porch are inaccurate and greater than what is represented in the building plans. The correct area of the front porch is at least 156 sq ft. *See* Exhibit 12, pp. 7-8.

D. The Zoning Administrator does not have the legal authority to allow changes to the May Permit because the current Zoning Regulations only allow a “conversion” of a residential building to an apartment house by special exception.

As discussed above, the Revised Plans contain material and substantive amendments to the May Permit. On October 13, 2015, DCRA entered a new permit application, B1600488, into its online system for the Revised Plans. The Zoning Regulations provide that “*any amendment of the permit shall* comply with the provisions of [the Zoning Regulations] in effect on the date the permit is amended.”⁵ (Emphasis added).

Under the definitions for the Zoning Regulations the word “shall” is mandatory and not discretionary.⁶ The terms “any” and “amendment” are not defined in the Zoning Regulations. “Words not defined in the [Zoning Regulations] shall have the meanings given in Webster's Unabridged Dictionary.”⁷ Webster's defines “any” as “EVERY —used to indicate one selected without restriction; one, some, or all indiscriminately of whatever quantity; one or more —used

⁴ Note that the tape measure used to measure the porch has a red dash every 16 inches.

⁵ 11 DCMR § 3202.4(b).

⁶ 11 DCMR § 199.2(d).

⁷ 11 DCMR § 199.2(g).

to indicate an undetermined number or amount; ALL —used to indicate a maximum or whole.” Webster’s defines “amendment” as “a change in the words or meaning of a law or document; the act or process of changing the words or meaning of a law or document; the act or process of amending something.”

Webster’s definition of “any” does not leave room for DCRA to choose which amendments require application of existing zoning laws. “Any” means all, every, and selected without restriction. “Amendment” means a change. Based on the definitions of “any” and “amendment” and the requirement that *any amendment shall comply* with the current zoning laws, DCRA does not have the discretion or authority to permit any amendments to the May Permit without applying the Zoning Regulations currently in effect. The change to the building plans, *i.e.*, amendment to the May Permit, includes a demolition and removal of the front porch. This demolition and removal fits the meaning of “any amendment.”

The law currently in effect prohibits conversions of residential buildings to apartment houses in R-4 districts except by special exception.⁸ On June 26, 2015, new regulations became effective that removed the matter-of-right for conversions of residential buildings to apartment houses in R-4 districts. The Zoning Commission voted to make the amendments effective immediately.⁹ Further, at the Zoning Administrator’s request, he no longer has the authority to grant minor flexibility for conversions.¹⁰ Thus, any amendments to the May Permit must be evaluated under the regulations currently in effect.

DCRA is attempting to apply the repealed R-4 Zoning Regulations to a change in the May Permit. However, the law is clear and unambiguous that the Zoning Administrator cannot

⁸ 11 DCMR § 336.1.

⁹ The only exception for conversions are for permit applications filed and accepted as complete by DCRA prior to July 17, 2014 and for projects with special exception or variance relief or matters related to Historic Preservation. 11 DCMR § 3202.9. None of those exceptions apply to this permit.

¹⁰ 11 DCMR § 407.1(c); *See* ZC-14-11, OP’s Supplemental Report 2 (June 1, 2015).

allow any amendments to the May Permit because the Zoning Administrator no longer has the authority to approve a single-family conversion to an apartment building in the R-4 district. DCRA cannot apply the law in effect prior to June 26, 2015 to the amendments to the May Permit. To do so would be an illegal act and an abuse of authority because DCRA does not have the authority to enact zoning laws. That is the exclusive authority of the Zoning Commission which has made it abundantly clear that conversions to apartment buildings no longer are permitted as a matter of right in R-4 districts.

IV. Conclusion

The building plans for the May Permit contained significant errors and inconsistencies that made it impossible for the Zoning Administrator to determine the correct percentage of lot occupancy. Further, the Zoning Administrator's request for revised drawings for the May Permit substantiates Appellant's argument that the Zoning Administrator acted arbitrarily and capriciously when he granted minor flexibility from the maximum percentage of lot occupancy. As discussed in more detail in Appellant's Pre-Hearing Statement, the Zoning Administrator did not conduct a qualitative analysis of the impact of his decision on the applicable Zoning Regulations.

The building plans for the May Permit clearly depict that the existing front porch will be included unchanged in the proposed apartment building. The Permit Holder removed the front porch in the Revised Drawings to reduce lot occupancy to less than 60%. This change in the building plans is an amendment to the permit requiring DCRA's re-review. The Zoning Regulations require that any amendments to the permit shall comply with the law in effect on the date the permit was amended. Thus, DCRA must apply the current Zoning Regulations which prohibit conversions in R-4 as a matter-of-right.

Accordingly, for the reasons discussed in Appellant's Pre-Hearing Statement and this Supplemental Statement, Appellant respectfully requests that the Board grant this appeal.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Lyn Abrams". The signature is written in black ink on a light-colored background.

Lyn Abrams
Representative for ANC 4C

CERTIFICATE OF SERVICE

I hereby certify that on October 22, 2015, a copy of this Supplemental Statement in Support of Appeal was delivered to the following, via e-mail or first class mail:

Musa Aslanturk, Registered Agent
1117 Allison, LLC
1242 Pennsylvania Ave., SE
Washington, DC 20003

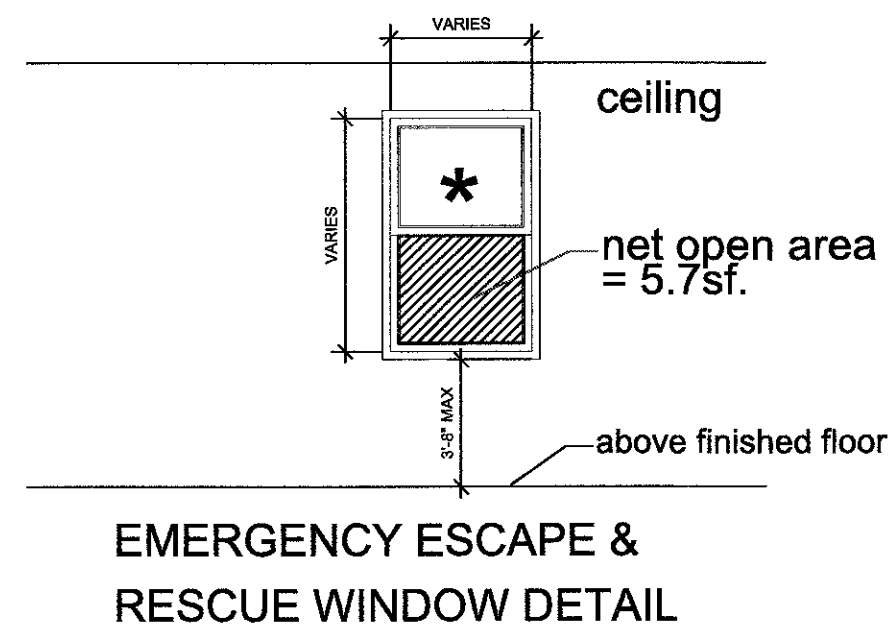
Maximilian Tondro
Assistant General Counsel
Office of the General Counsel
Department of Consumer & Regulatory Affairs
1100 4th Street, SW, 5th Floor
Washington, DC 20024



Lyn Abrams
Representative for ANC 4C
lynster3@gmail.com

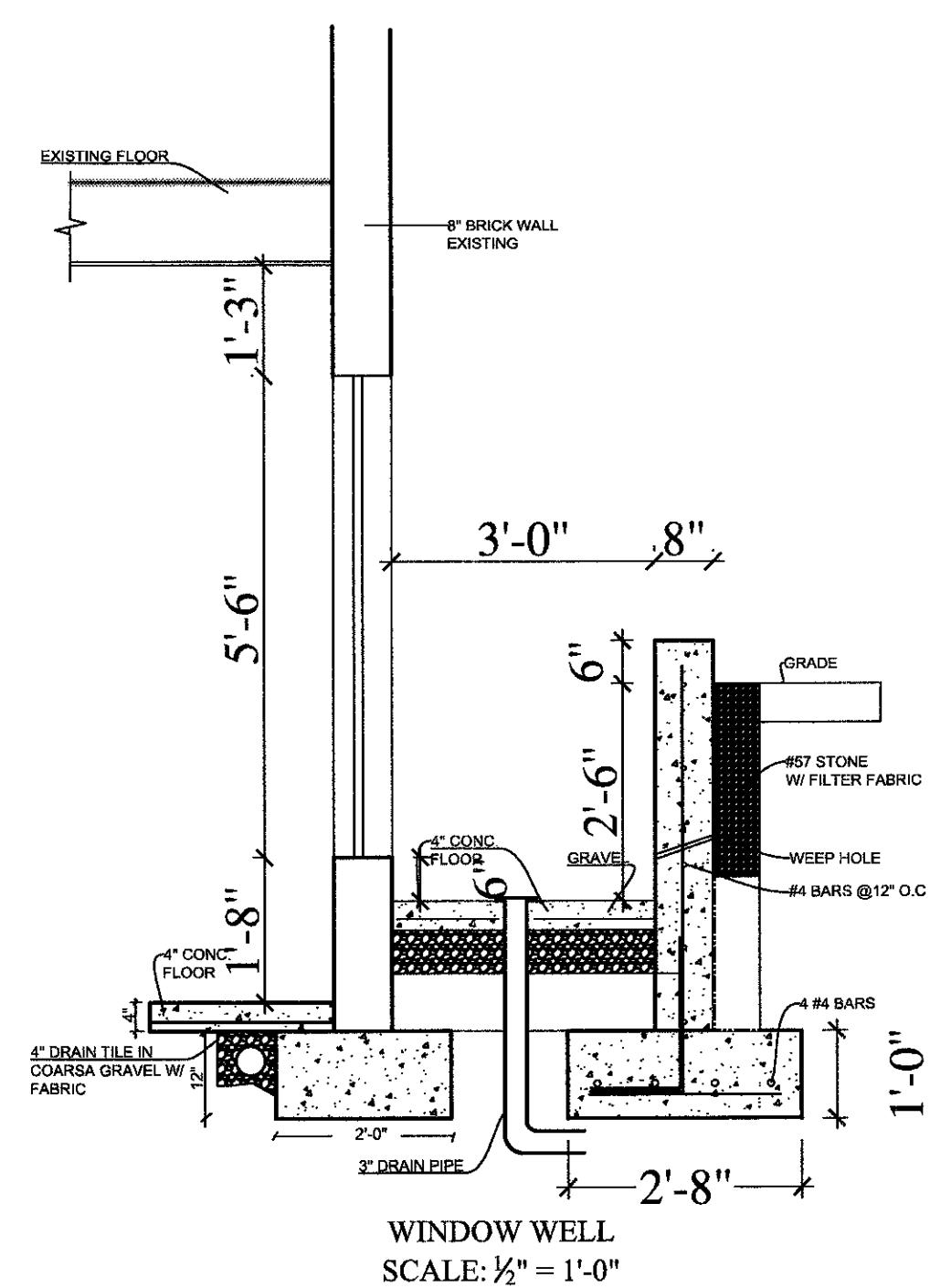
EXHIBIT LIST

<u>Exhibit No.</u>	<u>Name of Exhibit</u>
1	Sheet A3 – Revised Plans submitted October 8, 2015
2	Sheet C1 – Revised Plans submitted October 8, 2015
3	Sheet A3 – Building Plans, May Permit
4	Sheet A4 – Building Plans, May Permit
5	Sheet C1 – Building Plans, May Permit
6	Sheet A1 – Building Plans, May Permit
7	Sheet A1 – Revised Plans submitted October 8, 2015
8	Sheet A1 – Building Plans, February Permit
9	Sheet A3 – Building Plans, February Permit
10	Sheet A4 – Building Plans, February Permit
11	Sheet C1 – Building Plans, February Permit
12	Expert Zoning Review Report
13	DCRA Status of Building Permit Application
14	Picture showing measurement of front porch of 1115 Allison
15	Picture showing Subject Property (1117 Allison) and measurement of front porch of 1115 Allison
16	Picture showing depth of front porches of Subject Property (1117 Allison) and 1115 and Allison
17	Picture showing Subject Property (1117 Allison) and 1115 Allison



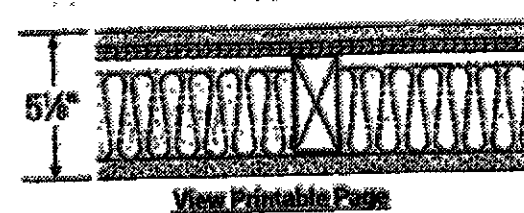
EMERGENCY ESCAPE AND RESCUE OPENINGS:

Habitable space and every sleeping room shall have at least one operable emergency escape and rescue window or exterior door opening functioning as an operable emergency escape and rescue opening. Where openings are provided as a means of escape and rescue, each shall have a sill height of not more than 44 inches above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the window or door opening from the inside. Escape and rescue window openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2.



- Cement Board - 1/2 in. cement board applied vertical or horizontal - **DUROCK Brand Cement Board Next Gen**
- Sheathing Materials - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically
- Wood Studs - 2x4 wood studs spaced max 16 in. OC
- Batts and Blankets - 3 in. mineral wool batt insulation
- Gypsum Board - 5/8 in. thick gypsum board applied vertically or horizontally. - **SHEETROCK Brand UltraLight Firecode X Gypsum Panels**

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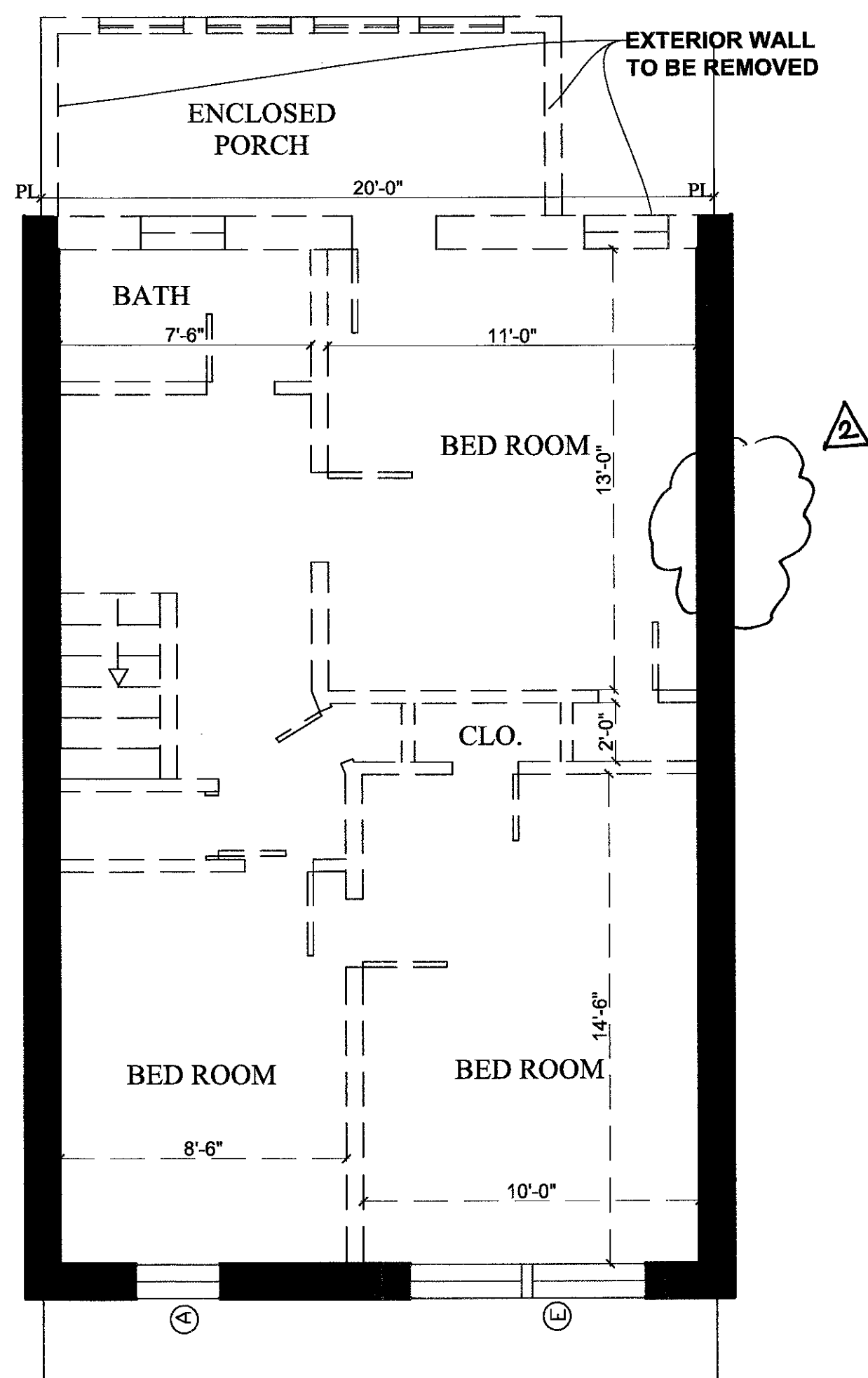
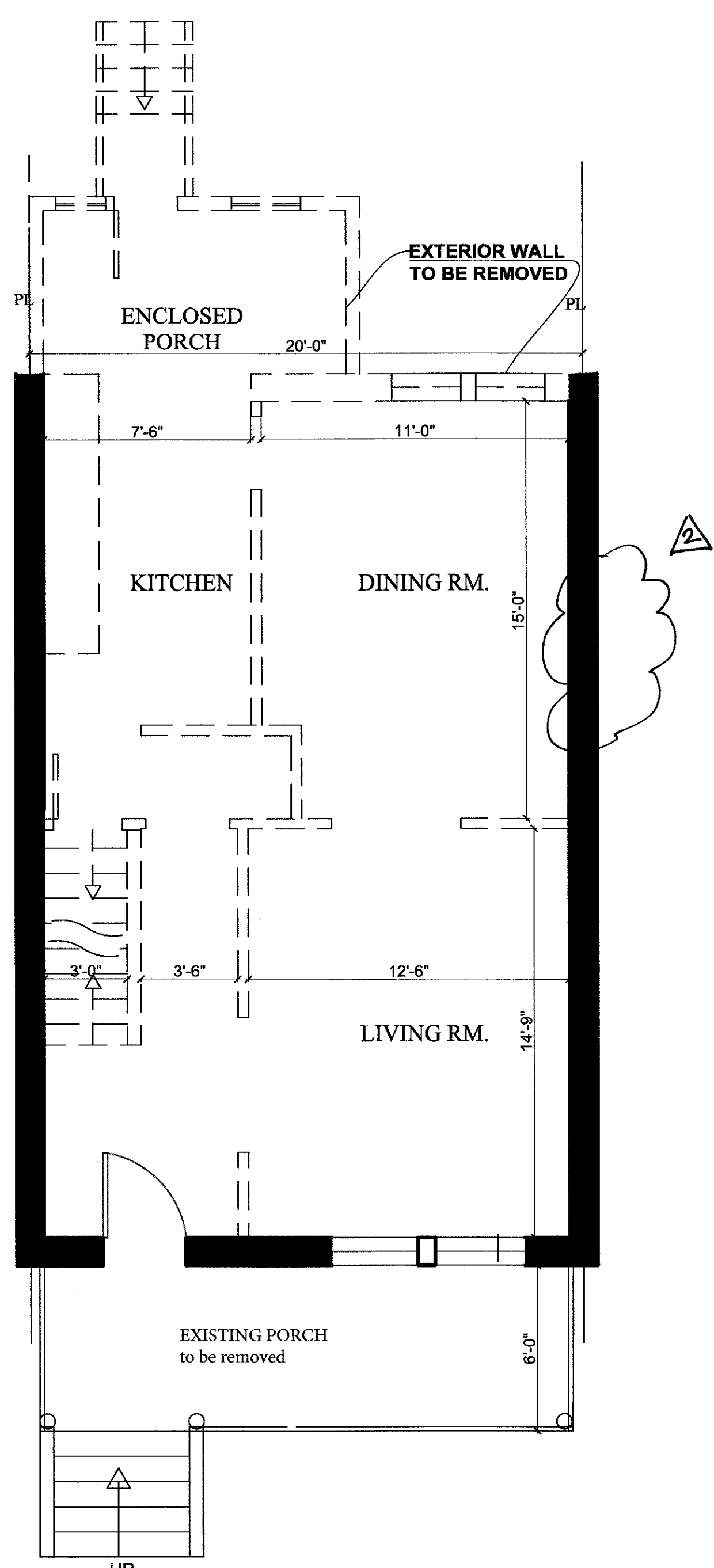
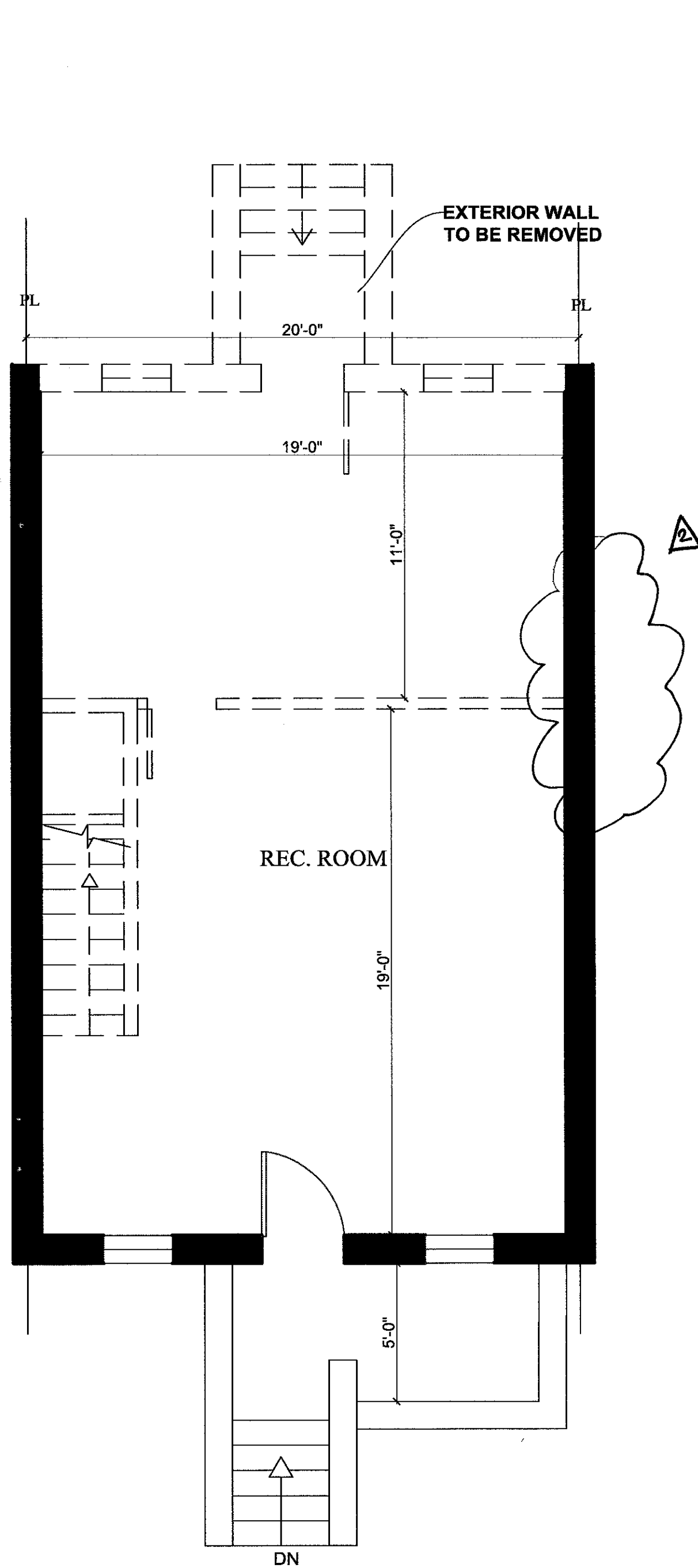


CAD - REVIT - VIEW ASSEMBLY

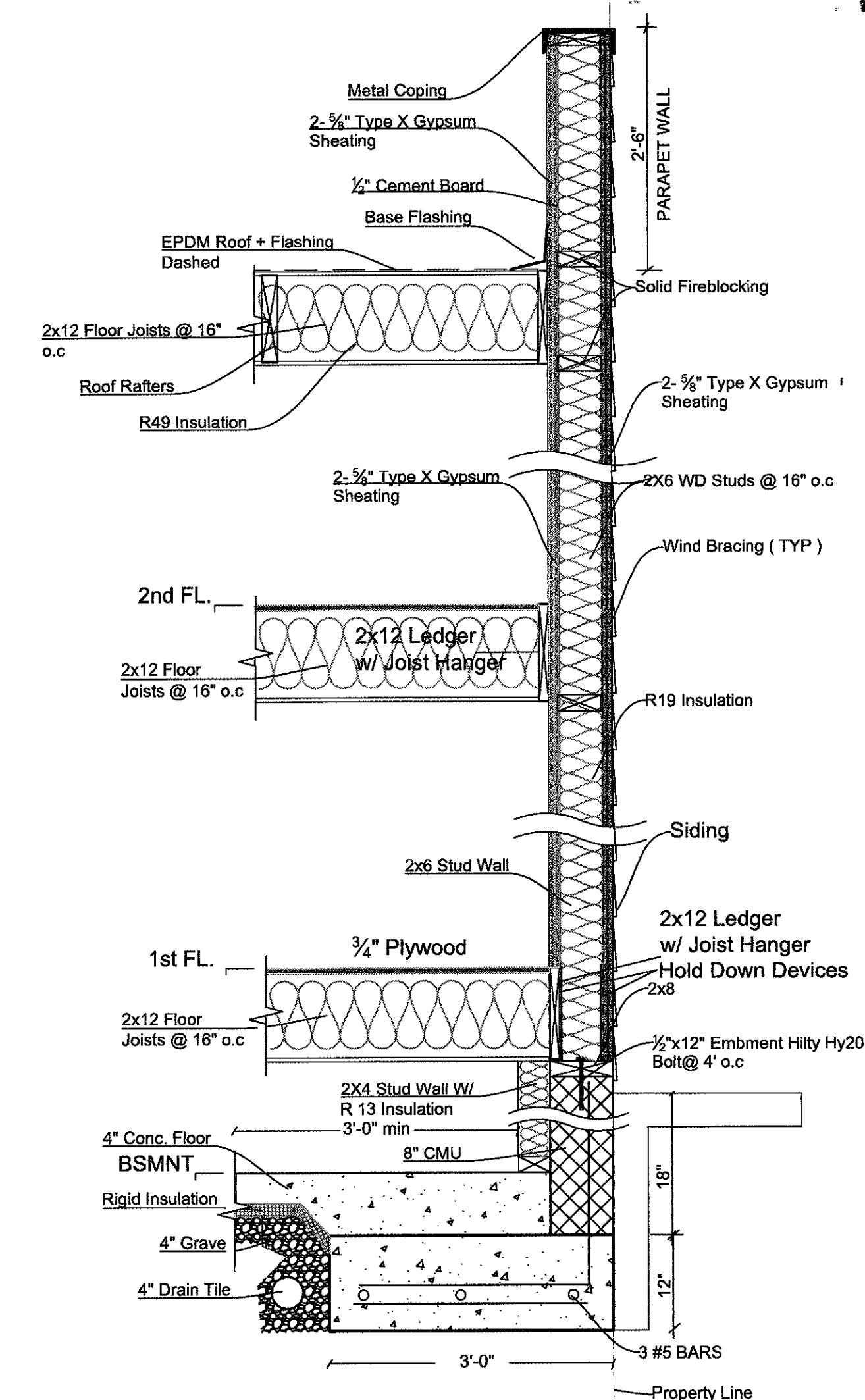
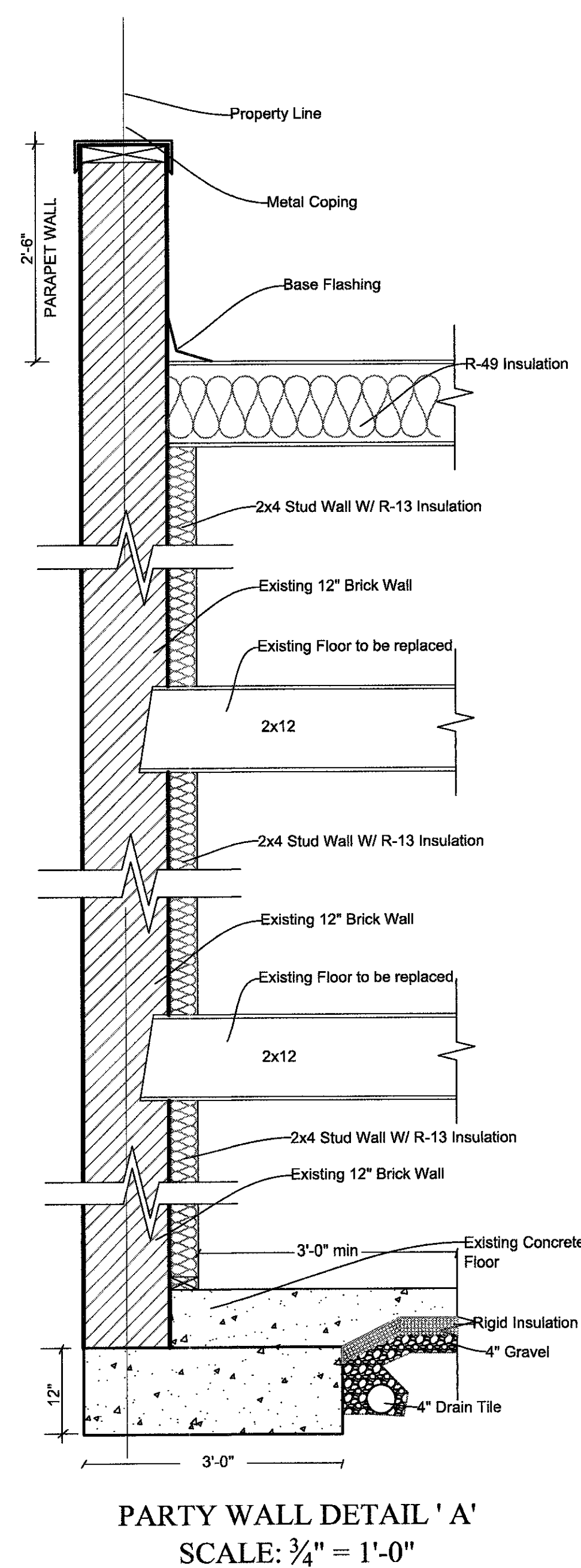
Fire Test
UL U303 or GA-WP-8131
Wood Stud (Loadbearing)
Exterior Walls

Fire Rating	STC	Thickness (in.)
1 hr.	N/A	5-1/8"

- Cement Board - 1/2 in. thick board, applied vertically or horizontally - **DUROCK Brand Cement Board Next Gen**
- Sheathing Materials - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically
- Wood Studs - 2x4 wood studs spaced max 16 in. OC
- Batts and Blankets - 3 in. mineral wool batt insulation
- Gypsum Board - 5/8 in. thick gypsum board applied vertically or horizontally. - **SHEETROCK UltraLight Firecode X Gypsum Panels**



* The walls were filled with solid black color to create a visible line.

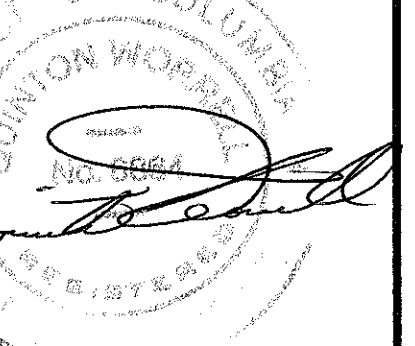


PARTITION LEGEND:

—	EXIST. PARTITION TO REMAIN
- - -	EXIST. PARTITION TO BE REMOVED

Exhibit 1

HOUSE RENOVATION
AND ADDITION
1117 ALLISON STREET N.W.



A3

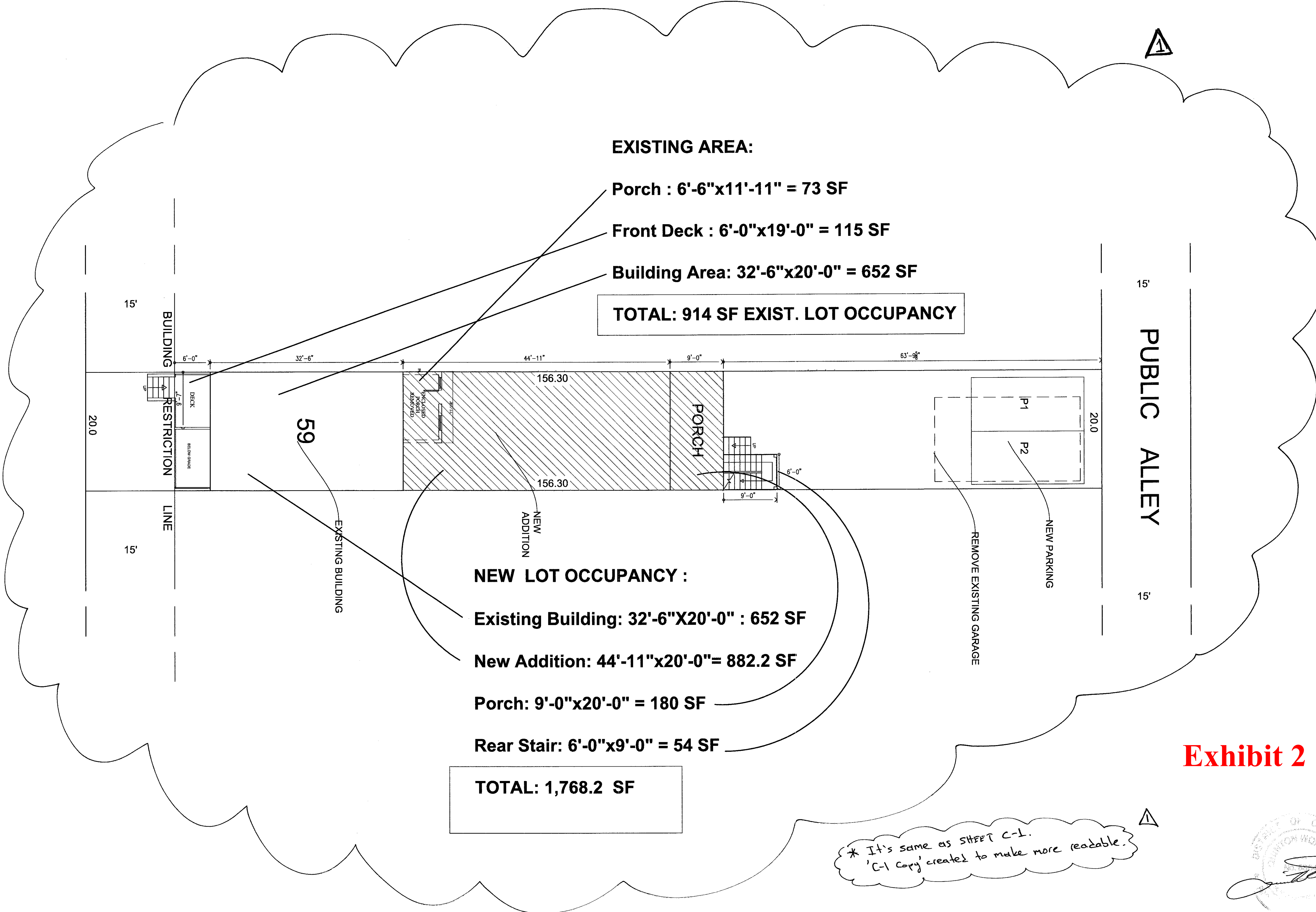
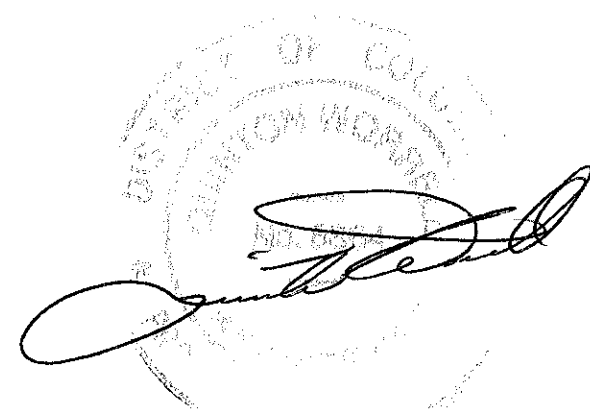


Exhibit 2

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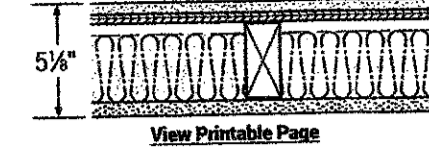


C1-COPY

SCALE: 1/8" = 1'-00

- Cement Board - 1/2 in. cement board applied vertical or horizontal - DUROCK Brand Cement Board Next Gen
- Sheathing Materials - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically
- Wood Studs - 2x4 wood studs spaced max 16 in. OC
- Batts and Blankets - 3 in. mineral wool batt insulation
- Gypsum Board - 5/8 in. thick gypsum board applied vertically or horizontally - SHEETROCK Brand UltraLight Firecode X Gypsum Panels

Visit U303



CAD - REVIT - VIEW ASSEMBLY

Fire Test	Fire Rating	STC	Thickness (in.)
UL U303 or GA-WP-8131	1 hr.	N/A	5-1/8"

Wood Stud (Loadbearing)
Exterior Walls

- Cement Board - 1/2 in. thick board, applied vertically or horizontally - DUROCK Brand Cement Board Next Gen
- Sheathing Materials - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically
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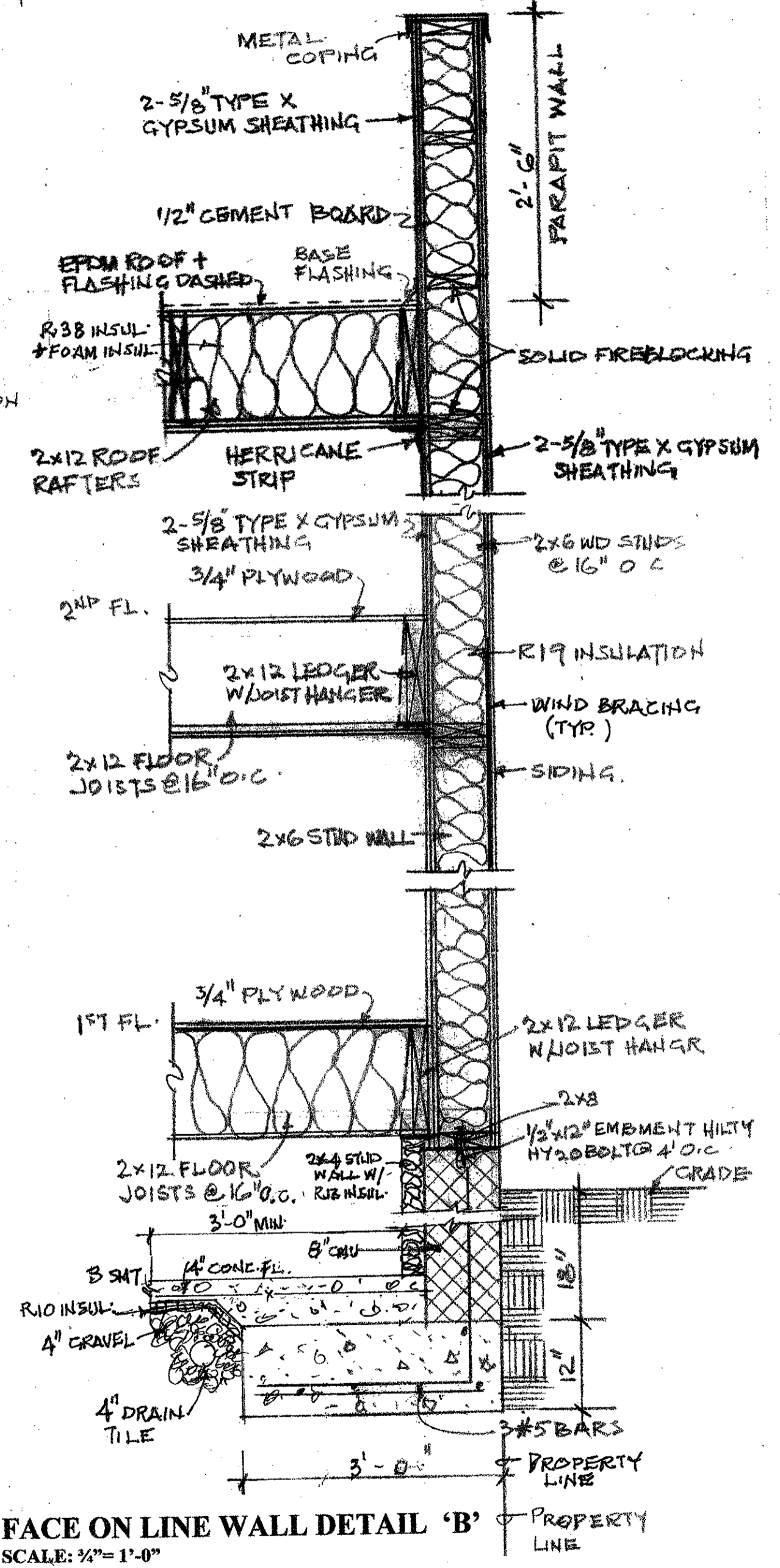
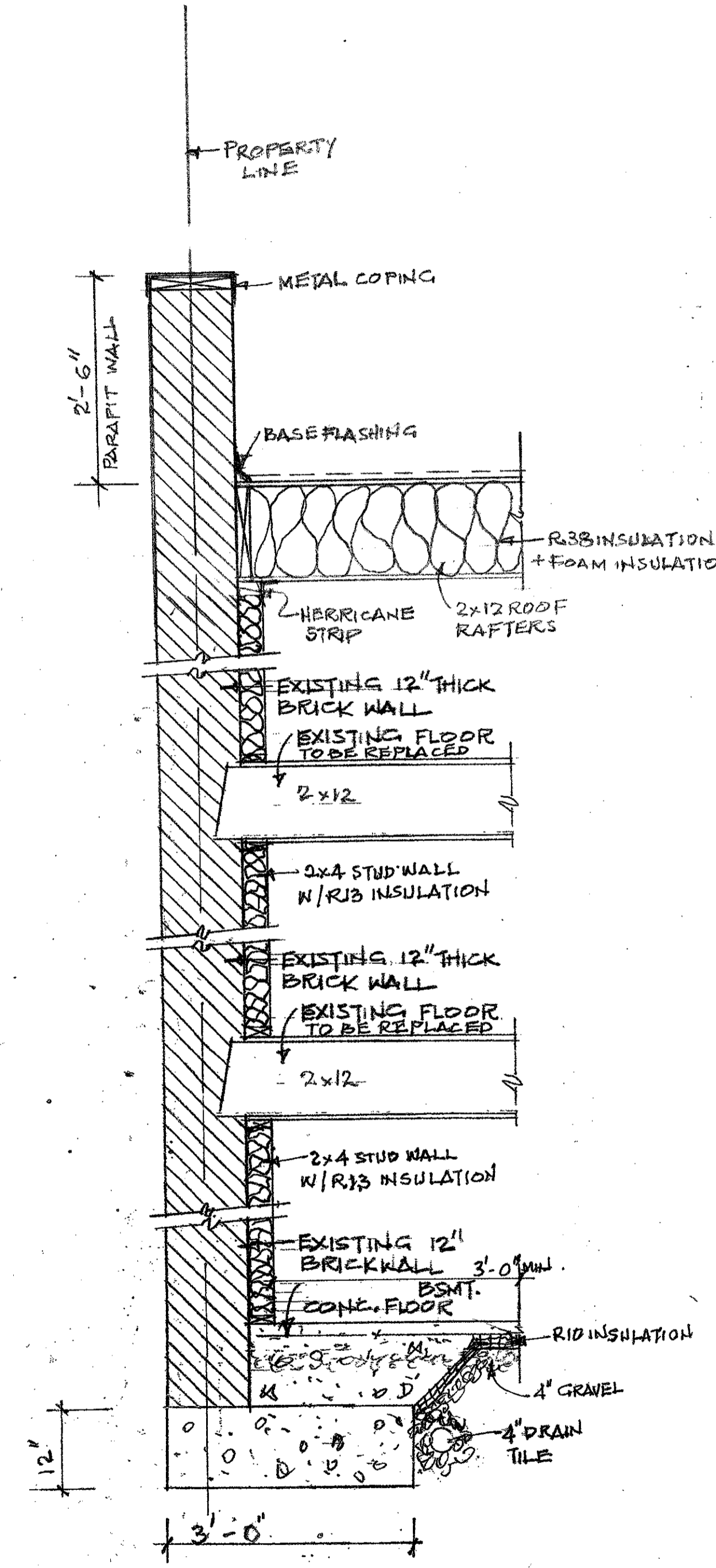
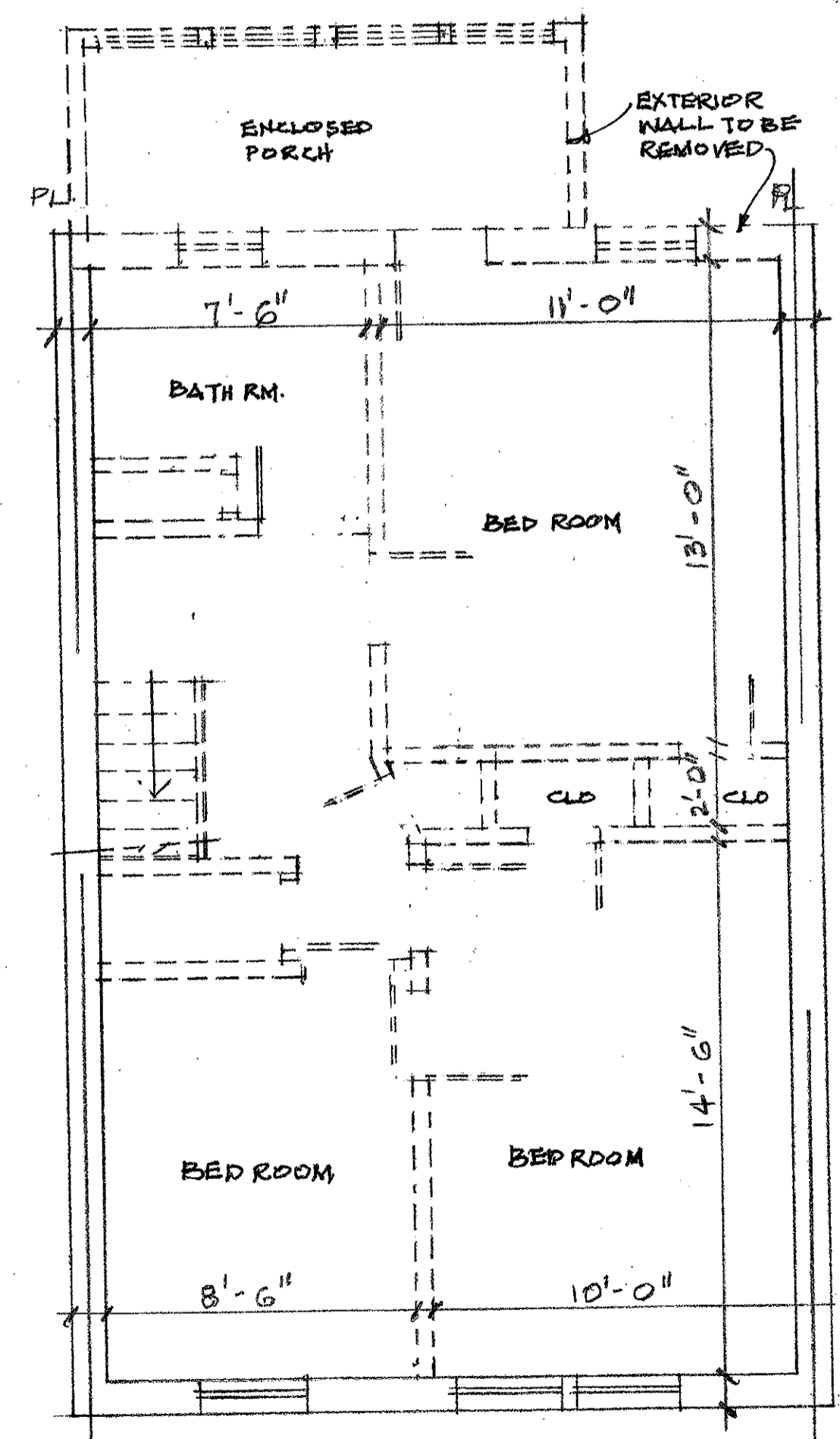
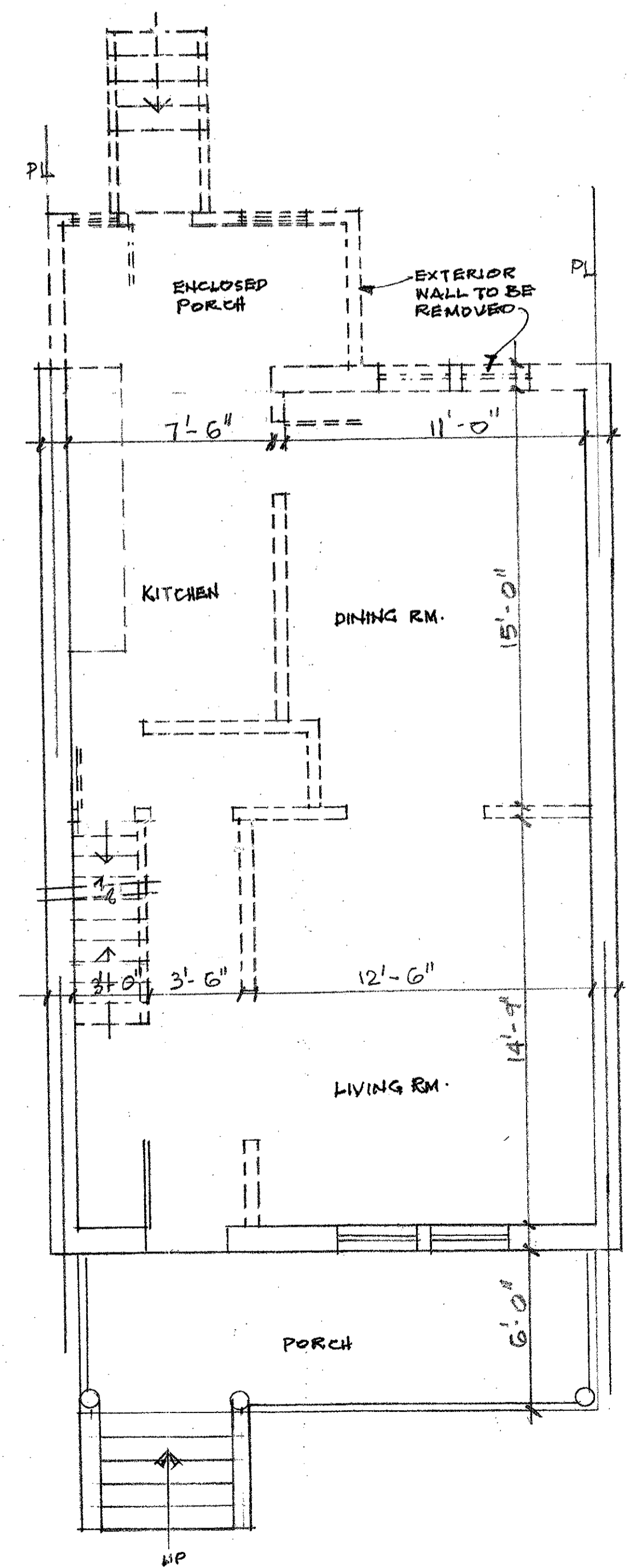
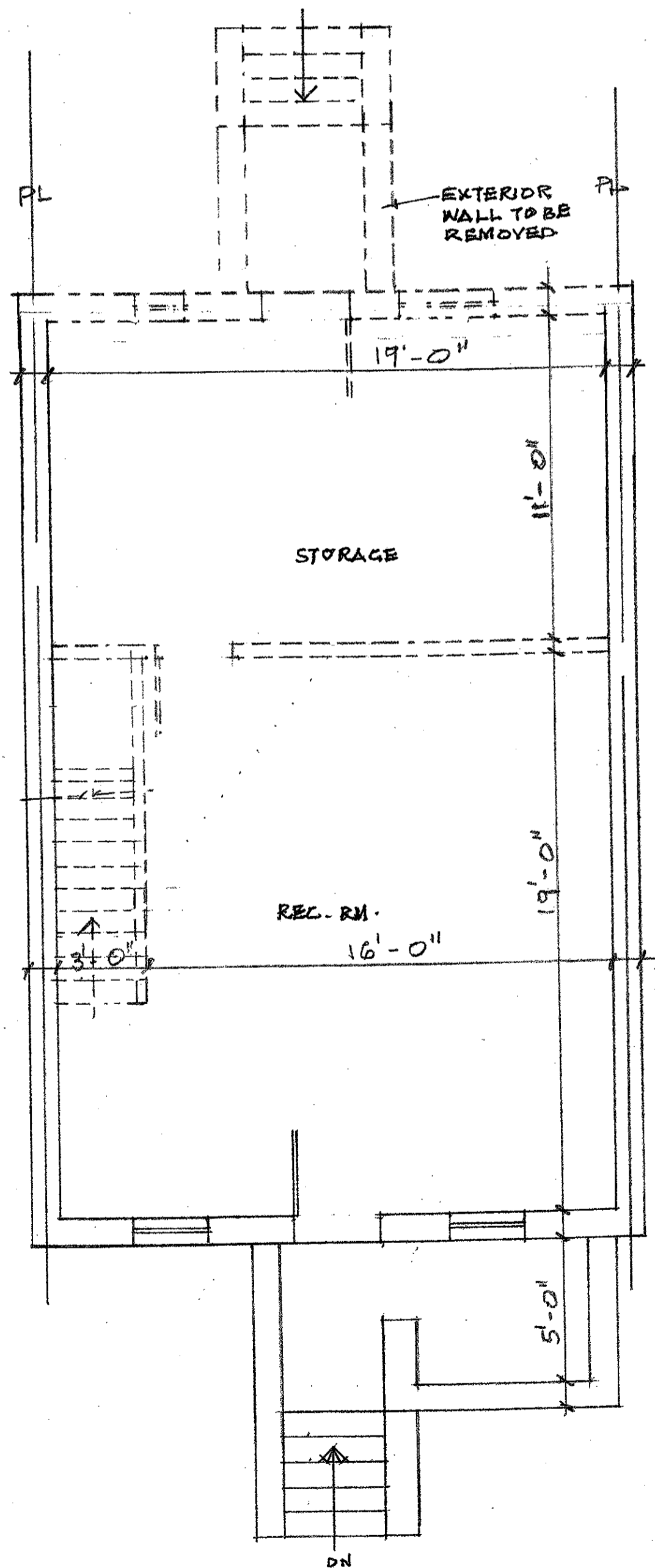
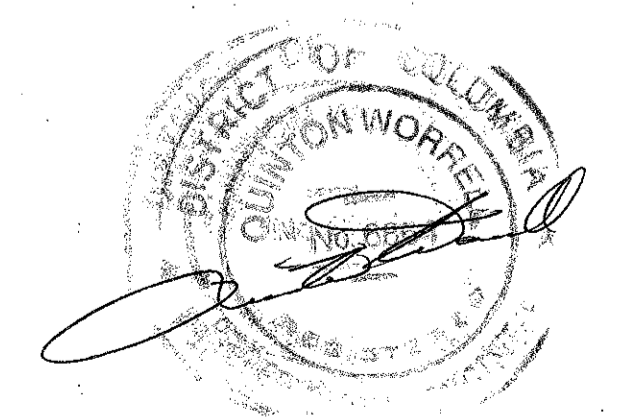


Exhibit 3

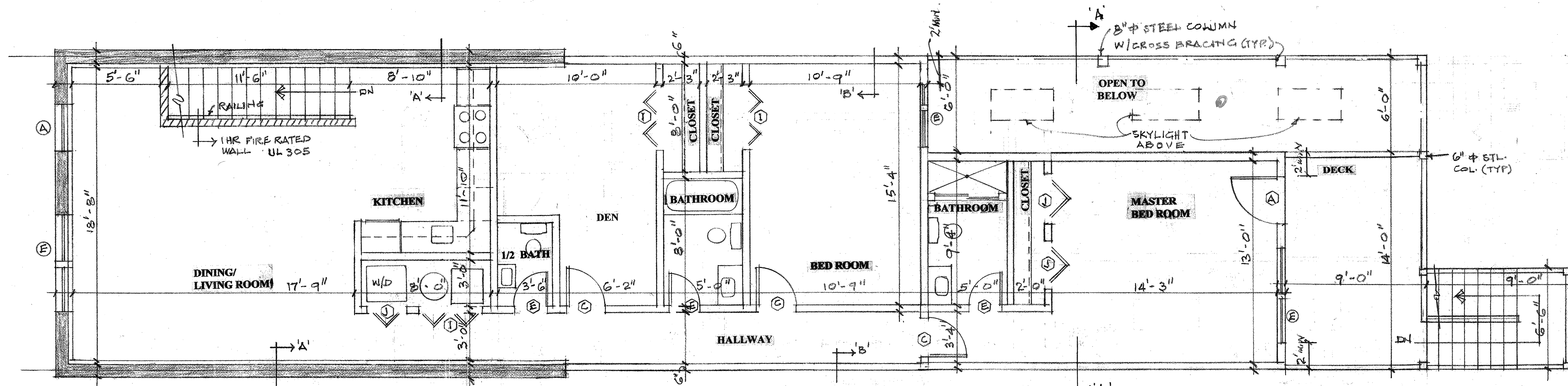
PARTITION LEGEND

---	EXIST. PARTITION TO REMAIN
---	EXIST. PARTITION TO BE REMOVED



HOUSE RENOVATION AND ADDITION
1117 ALLISON STREET N.W.

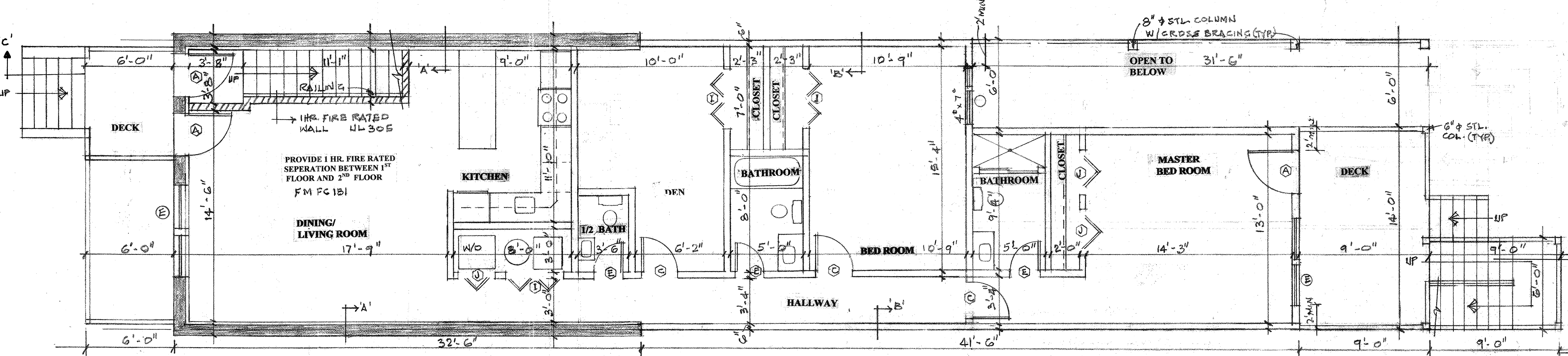
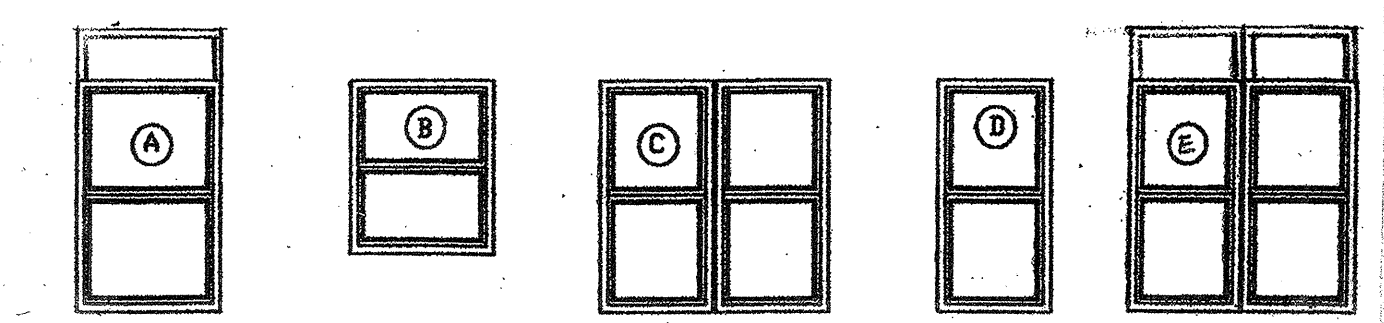
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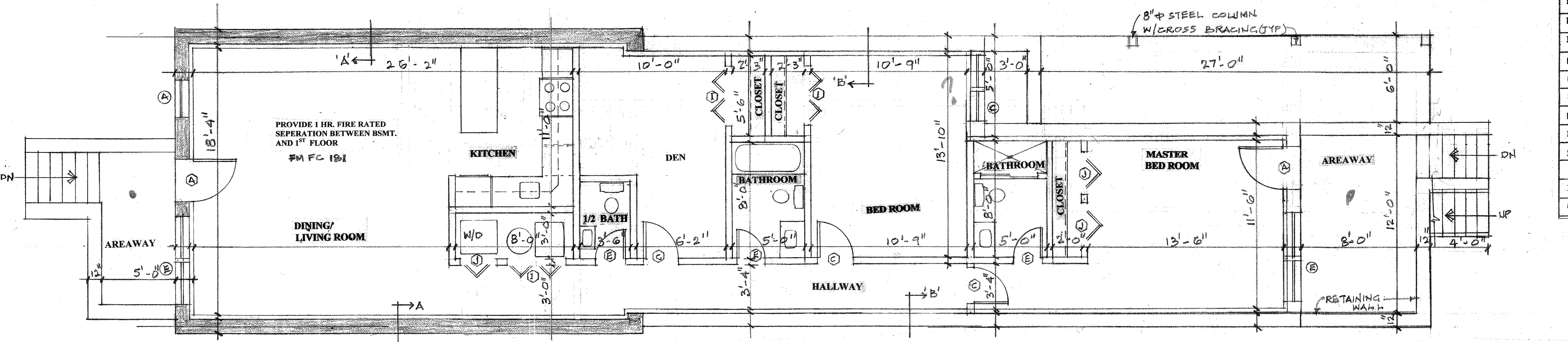
DOORS SCHEDULE							
SYM BOL	WIDTH	HEIGHT	THICK-NESS	MATERIAL	TYPE	QUAN-TITY	REMARKS
A	3'-0"	6'-8"	1 3/8"	WOOD	SOLID SORE		1 HR. FIRE RATED DOOR
B	2'-8"	6'-8"	1 3/8"	WOOD	SOLID CORE		
C	2'-6"	6'-8"	1 3/8"	WOOD	SOLID CORE		
D	2'-4"	6'-8"	1 3/8"	WOOD	SOLID CORE		
E	2'-0"	6'-8"	1 3/8"	WOOD	SOLID CORE		
F	4'-0"	6'-8"	1 3/8"	WOOD	FRENCH		
G	6'-0"	6'-8"	1 3/8"	WOOD	FRENCH		
H	5'-0"	6'-8"	1 3/8"	WOOD	BIFOLD		
I	4'-0"	6'-8"	1 3/8"	WOOD	BIFOLD		
J	3'-0"	6'-8"	1 3/8"	WOOD	BIFOLD		
K	6'-0"	6'-8"	1 3/8"	METAL	PATIO		

WINDOW SCHEDULE					
NUMBER	SIZE	TYPE	MATERIAL	GLAZING	REMARKS
A	3'-0" x 3'-0"	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
B	2'-6" x 3'-4"	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
C	6'-0" x 5'-6"	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
D	2'-6" x 5'-6"	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
E	7'-0" x 1'-0"	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
F	2'-3" x 3'-4"	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	

NOTES:
1. ALL WINDOWS SHALL BE SUPPLIED WITH EXTERIOR FULL ALUMINUM SCREENS.
2. SIZES SHALL BE VERIFIED AT THE SITE WITH FIELD MEASUREMENTS ONLY.



ROOM FINISH SCHEDULE						
ROOM/AREA	FLOOR	WALL	BASE	WAINSCOT	CEILING	REMARKS
FOYER	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	REFINISH & REPAIR EXISTING
LIVING ROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
DINING ROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
POWDER ROOM	CERAMIC TILE	GYP. BD.	CERAMIC (CROWN)	NONE	GYP. BD.	
HALLWAY	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
STAIRS	OAK	GYP. BD.	5" WOOD	NONE	GYP. BD.	
KITCHEN	12" x 12" VINYL TILE	GYP. BD.	5" WOOD	NONE	GYP. BD.	
BEDROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
BEDROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
BATHROOM	CERAMIC TILE	GYP. BD.	CERAMIC (CROWN)	CERAMIC TILE	GYP. BD.	
UTILITY ROOM	12" x 12" VINYL TILE	GYP. BD.	5" WOOD	NONE	GYP. BD.	



DCRA/OFFICE OF THE ZONING ADMINISTRATOR/COMPLIES WITH REQUIREMENTS OF DC ZONING REGULATIONS (DDCMR) 22 327-15

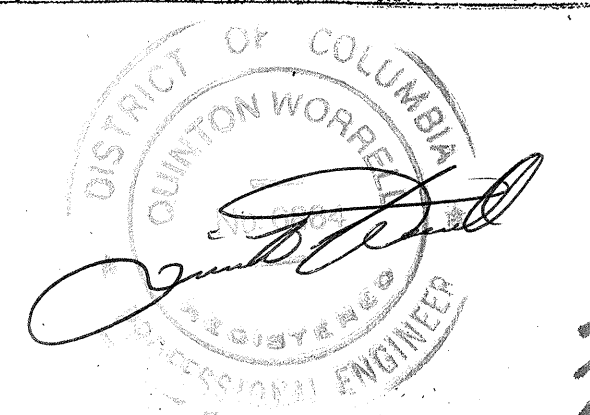
PARTITION LEGEND	
	WALL/ EXIST. PARTITION TO REMAIN
	EXIST. PARTITION TO BE REMOVED
	NEW PARTITION

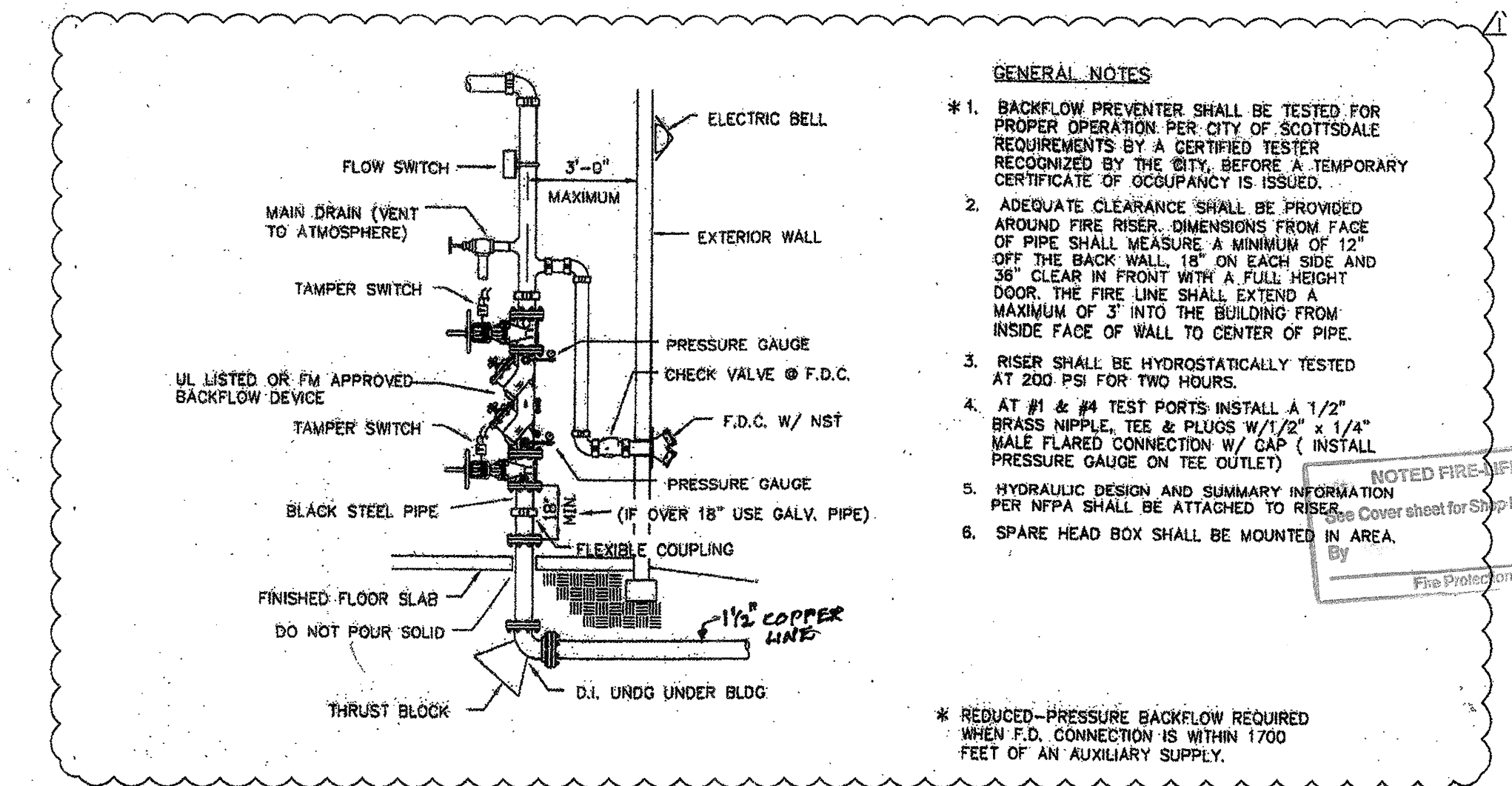
HOUSE RENOVATION AND ADDITION
1117 ALLISON STREET N.W.

Board of Zoning Adjustment
District of Columbia
Case No. 19067
EXHIBIT NO. 23

A4

Exhibit 4





FIRE SPRINKLER RISER DETAIL WITH WALL MOUNT FD CONNECTION

SCALE: NOT TO SCALE

LIST OF STANDARDS

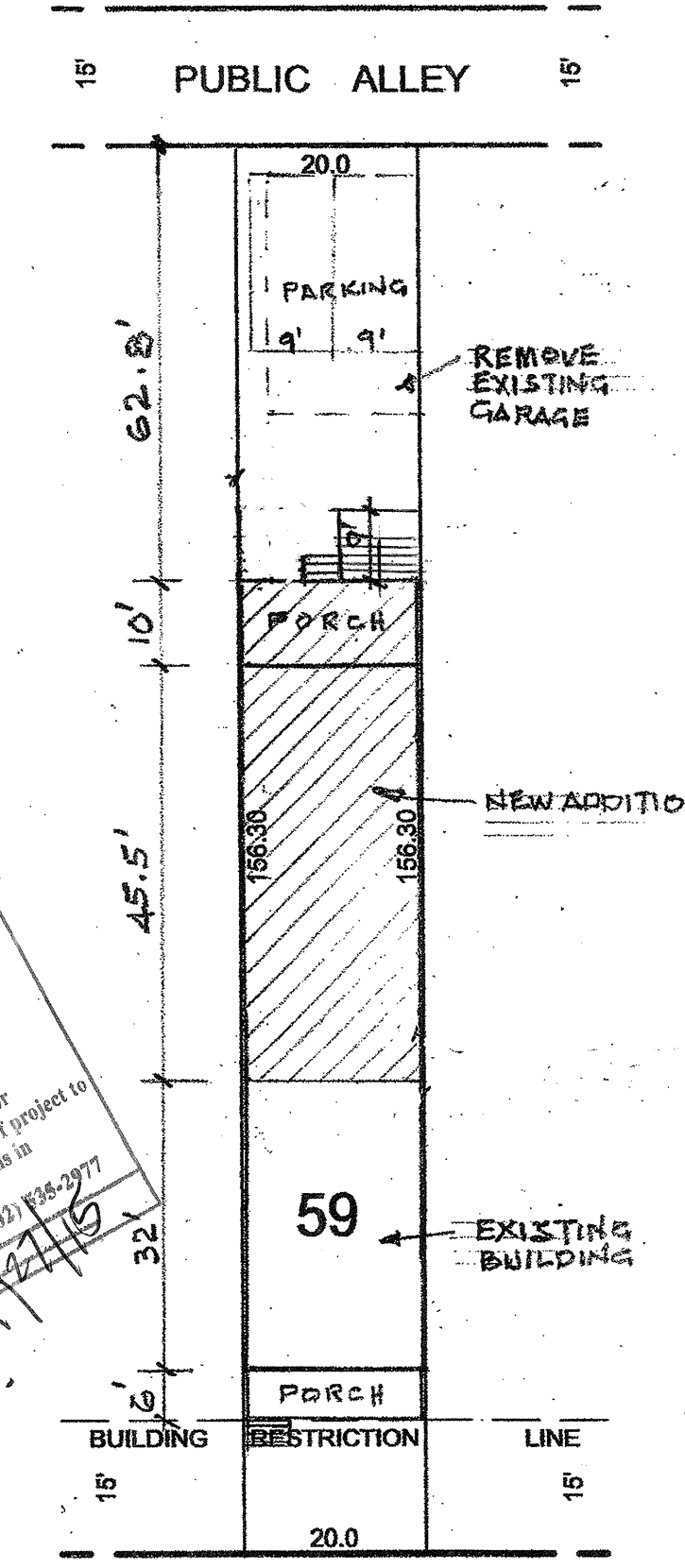
- SILT FENCE ——— SF ———
- LIMITED OF DISTURBANCE - - - - L.O.D. - - - -
- STABILIZED CONSTRUCTION ENTRANCE

SOIL EROSION NOTES

1. A SEDIMENT AND EROSION CONTROL METHOD SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
2. ALL DEBRIS IS TO BE IMMEDIATELY REMOVED FROM SITE.
3. STREETS/SIDEWALKS SHALL BE SWEEP CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
4. ALL CATCH BASIN AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
5. IF ANY CATCH BASIN OR DRAINS BECOME CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
6. WHEN SEDIMENT TRAP HAS REACHED 67% CAPACITY, CLEAN TRAP AS REQUIRED.
7. ANY STOCKPILING, REGARDLESS OF LOCATION SHALL BE STABILIZED AND COVERED WITH PLASTIC OR CANVAS, AFTER ITS ESTABLISHMENT AND FOR DURATION OF THE PROJECT.
8. AFTER REMOVALS OR DEMOLITION, PROVIDE GROUND COVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SEED, SOIL, PAVE, BROCKHAM OR MULCH, ETC., AS REQUIRED.

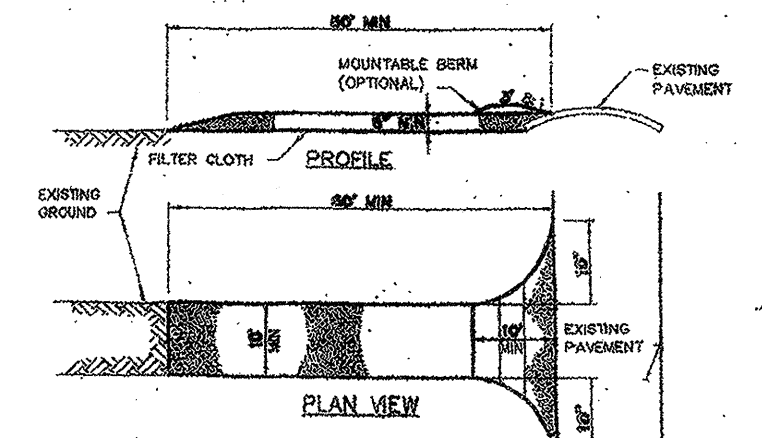
SEDIMENT CONTROL APPROVAL
 PLAN NUMBER _____
 DATE _____
 THIS APPROVAL IS FOR GRADING AND SEDIMENT CONTROL ONLY. PERMITTEE/CONTRACTOR IS REQUIRED TO CONSTRUCT DESIGN FEATURES SHOWN HEREON. HE SHALL NOTIFY THE OFFICE AT NUMBER BELOW AT LEAST 24 HOURS BEFORE START OF PROJECT FOR FINAL INSPECTION.
 FLOODING AND EROSION CONTROL NUMBER _____

GOVERNMENT OF THE DISTRICT OF COLUMBIA
 DISTRICT DEPARTMENT OF THE ENVIRONMENT
 NATURAL RESOURCES ADMINISTRATION
 WATERBESH PROTECTION DIVISION
Sediment Control Approval
 Approved By:
 Date: 11/16/14
 Tel: (202) 636-2977
 Note: This Approval is for Sediment Control Plan only. The applicant is required to construct design features as shown on these approved plans. The Applicant must notify this office at least 24 hours prior to the start of maintenance activity and within (2) weeks after completion of project to permit final inspection. If there is need to make any change or modifications to the approved design, the applicant is required to notify immediately.



ALLISON STREET, N.W.

STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

PROJECT DESCRIPTION

This project entails the construction of rear addition to the building as shown on plan.

Erosion & Sediment Control Plan

H17 ALLISON STREET N.W.
 LOT 0059 SQUARE 2918
 WASHINGTON DC
 DATE: 07/16/14 SCALE: 1"=20'

Zone:	
Lot Size:	3126 S.F.
Impervious Area:	
Lot Coverage Proposed:	1933 S.F.
Lot Coverage EXIST:	920 S.F.
Disturbed Area:	2106 S.F.
Volume of Cut:	87 CY
Volume of Fill:	0

C1

Exhibit 5

B1409828

ABBREVIATIONS:

Table of abbreviations including A/C ACQUIS, ACT ID, ADJ ADJUSTABLE, AFF ABOVE FINISHED FLOOR, AL ALUMINUM, ALT ALTERNATE, ALUM ALUMINUM, AP ACCESS PANEL, APPROX APPROXIMATE, APT APARTMENT, ARCH ARCHITECTURAL, ASPH ASPHALT, AUTO AUTOMATIC, BO BOARD, BLDG BUILDING, BLK BLOCK, BLKG BLOCKING, BM BEAM, BSMT BASEMENT, CJ CONTROL JOINT, CL CENTER LINE, CLO CLOSET, CLOD CLOSET, CLR CLEAR(ANCE), CM CENTIMETER, CMU CONCRETE MASONRY UNIT, COL COLUMN, CONC CONCRETE, CONST CONSTRUCTION, CONT CONTINUOUS, CONTR CONTRACT(OR), COORD COORDINATE(ION), CORR CORRIDOR, CPT CEMENT, CT CERAMIC TILE, CTR CENTER, CTRC CUBIC FOOT, D DETAIL, DEMO DEMOLISH, DIA DIAMETER, DIM DIMENSION, DISP DISPENSER, DN DOWN, DR DOOR, DS DOWNSPOUT, DWG DRAWING(S), E EAST, EA EACH, EIFS EXTERIOR INSULATION & FINISH SYSTEM, EJ EXPANSION JOINT, EL ELEVATION, ELEC ELECTRIC, ELEV ELEVATOR, EQ EQUAL, EQUIP EQUIPMENT, ETR EXISTING TO REMAIN, ENC ELECTRIC WATER COOLER, EXH EXHAUST, EXIST EXISTING, EXP EXPAND (D), EXPANSION, EXPOSED EXPOSED, EXT EXTERIOR, FD FLOOR DRAIN, FE FIRE EXTINGUISHER, FEX FIRE EXTINGUISHER CABINET, FHC FIRE HOSE CABINET, FIN FINISHED, FIX FURNITURE, FLR FLOOR, FLEX FLEXIBLE, FLUR FLOOR, FT FEET, GA GAUGE, GAL GALVANIZED, GC GENERAL CONTRACTOR, GL GLASS, GLAZ GLAZING, GRD GROUND, GYP GYPSUM WALLBOARD, H HEIGHT, HB HOSE BIB, HD HEAVY DUTY, HDW HARDWARE, HM HOLLOW METAL, HMZ HORIZONTAL, HP HIGH POINT, HT HEIGHT, HVAC HEATING, VENTILATING & AIR CONDITIONING, ID INSIDE DIAMETER, INCL INCLUDING (D), INFO INFORMATION, INSUL INSULATION, INT INTERIOR, JAN JANITOR, JT JOINT, KO KNOCKOUT, L LONG, LBL LABEL, LAM LAMINATE, LAB LABORATORY, LH LEFT HAND, LT LIGHT, LP LOW POINT, MAS MASONRY, MAT MATERIAL, MAX MAXIMUM, MECH MECHANICAL, MEP MECHANICAL, ELECTRICAL & PLUMBING, MFR MANUFACTURE(ER), MIN MINIMUM, MISC MISCELLANEOUS, MO MASONRY OPENING, MSP MASONRY SOLID FILL, MTD MOUNTED, MTL METAL, N NORTH, NIC NOT IN CONTRACT, NO NUMBER, NOM NOMINAL, NRC NOISE REDUCTION COEFFICIENT, NTS NOT TO SCALE

MATERIALS:

Table of materials including CONCRETE, CONCRETE MASONRY UNIT, BRICK, WOOD FRAMING / ROUGH, WATERPROOF MEMBRANE / ROOFING MEMBRANE FLASHING, RIGID INSULATION, GYPSUM BOARD, PLYWOOD, FINISHED WOOD, ACoustical TILE, GLASS, SAND / MORTAR / PLASTER, STEEL / FERROUS METAL

SYMBOLS:

Table of symbols including LOCAL LABELS (TENANT AREA, OCCUPANT LABEL), REFERENCE SYMBOLS (DETAIL, BUILDING/WALL SECTION, EXTERIOR ELEVATION, INTERIOR ELEVATION), LEVEL TARGETS (FIN FLOOR, T.O. SLAB, SPOT ELEVATION TARGET, CHANGE IN LEVEL), SCHEDULE TAGS (KEY NOTE, PARTITION TAG, DOOR TAG, CEILING TAG, CEILING FINISH, WINDOW TAG, FIXTURE & APPLIANCE TAG, FINISH TAG, REVISION TAG), GENERAL SYMBOLS (COLUMN GRID BUBBLE, CENTER LINE, PROPERTY LINE)

ZONING & BUILDING CODE DATA:

BUILDING DATA: PROJECT ADDRESS 1117 ALLISON STREET N.W. SCOPE OF WORK: CONVERT SINGLE FAMILY DWELLING INTO THREE DWELLING UNITS. REMOVE INTERIOR PARTITIONS OF BASEMENT, FIRST AND SECOND FLOOR. ALSO REMOVE REAR EXTERIOR WALL. CONSTRUCT NEW EXTERIOR AND INTERIOR WALLS FROM BASEMENT TO SECOND FLOOR. INSTALL NEW ELECTRICAL, NEW PLUMBING AND NEW HVAC SYSTEMS. APPLICABLE CODES: 2003 DC ZONING REGULATIONS (DCMR 11), 2008 DC CONSTRUCTION CODES SUPPLEMENT (DCMR 12) WHICH AMENDS THE FOLLOWING: 2012 ICC INTERNATIONAL BUILDING CODE (DCMR 12A), 2011 NFPA NATIONAL ELECTRIC CODE (DCMR 12C), 2012 ICC INTERNATIONAL MECHANICAL CODE (DCMR 12E), 2012 ICC INTERNATIONAL PLUMBING CODE (DCMR 12F), 2012 ICC INTERNATIONAL FIRE CODE (DCMR 12H), 2012 ICC INTERNATIONAL ENERGY CONSERVATION CODE (DCMR 12J), 2012 ICC INTERNATIONAL EXISTING BUILDING CODE (DCMR 12I), ICC ANS I 117.1 - 2012

ZONING DATA: SQUARE NO., LOT NO., ZONING DISTRICT: R-4, HISTORIC OVERLAY: NONE, HISTORIC AREA/SITE: NONE, SITE AREA: 312.6 SF (PER DC RECORD). BUILDING HEIGHT: 25'-0", FLOOR AREA RATIO: N/A, LOT OCCUPANCY: 1935 SF, REAR YARD: 118'-2" FT, SIDE YARD: N/A, OFF-STREET PARKING: 1 PER EACH 2 UNITS = 2 MIN

IBC CHAPTER 3 - USE & OCCUPANCY: R-2 (RESIDENTIAL - PERMANENT 1/ MORE THAN TWO DWELLING UNITS) IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS: 1. HEIGHTS: (IBC TABLE 503, IBC SECTION 504.2) -8 R-2 (STORES) 2. AREA: (IBC TABLE 503, IBC SECTION 508)

IBC CHAPTER 6 - TYPES OF CONSTRUCTION: TYPE I IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION: 1. BUILDING ELEMENT FIRE RESISTANT RATINGS: (IBC TABLES 601 & 602) STRUCTURAL FRAME: 0 HR 0 HR BEARING WALLS: EXTERIOR 2 HR 2 HR INTERIOR 0 HR 0 HR NONBEARING EXTERIOR PER FIRE SEPARATION DISTANCE: N/A N/A NONBEARING INTERIOR WALLS & PARTITIONS: 0 HR 0 HR FLOOR CONSTRUCTION: 0 HR 0 HR ROOF CONSTRUCTION: 0 HR 0 HR 2. FIRE BARRIERS: (IBC SECTION 706) SHAFT ENCLOSURES (IBC SECTION 707.A): 2 HR 2 HR EXIT ENCLOSURES (IBC SECTION 1020.1): 2 HR 2 HR 3. FIRE PARTITIONS: (IBC SECTION 708.3) ASSEMBLIES BETWEEN DWELLING UNITS: 1 HR 1 HR

IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION (CONTINUED):

Table for fire doors and windows: FIRE DOORS: FIRE BARRIERS (>1HR) 2 HR 1.5 HR 1.5 HR FIRE WINDOWS: INTERIOR FIRE BARRIERS (>1HR) 2 HR LABELED PER IBC SECTION 715.2 LABELED PER IBC SECTION 715.2

IBC CHAPTER 9 - FIRE PROTECTION SYSTEMS:

- 1. AUTOMATIC SPRINKLER SYSTEM (IBC SECTION 903.3.1.2) NFPA 13B AUTOMATIC SPRINKLER SYSTEM PROVIDED
2. STANDPIPE SYSTEM (DCMR 12A SECTION 905.3.1 EXCEPTION #1) CLASS I STANDPIPE SYSTEM PROVIDED
3. FIRE ALARM & DETECTION SYSTEM (IBC SECTION 907.2.9) MANUAL FIRE ALARM SYSTEM PROVIDED
4. OTHER PROTECTION PROVISIONS: SMOKE DETECTORS PROVIDED

IBC CHAPTER 10 - MEANS OF EGRESS:

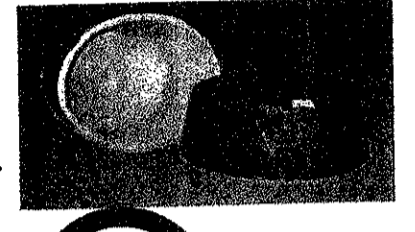
Table for occupant load and egress width: OCCUPANT LOAD: UNIT (CELLAR) RESIDENTIAL 1463 SF 200 SF 7 UNIT (1ST FL) RESIDENTIAL 1463 SF 200 SF 7 UNIT (2ND FL) RESIDENTIAL 1463 SF 200 SF 7 BUILDING TOTAL: STAIRWAY (IBC SECTION 1008.1) 36" 36" DOORS (IBC SECTION 1008.1.1) 36" 36" CORRIDORS (IBC SECTION 1017.2) 36" 42" MINIMUM NUMBER OF EXITS (IBC SECTION 1019.1): UNIT (CELLAR) 2 2 UNIT (1ST FL) 7 2 UNIT (2ND FL) 7 2

IBC CHAPTER 11 - ACCESSIBILITY:

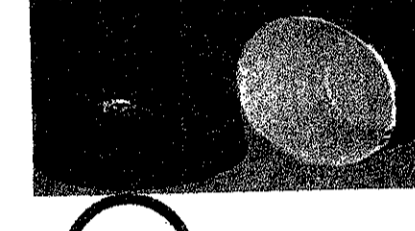
1. SCOOPING REQUIREMENTS: (IBC SECTION 1103) THIS PROJECT IS NOT ACCESSIBLE.

IBC CHAPTER 13 - ENERGY EFFICIENCY:

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED BY THE DISTRICT OF COLUMBIA RESIDENTIAL ENERGY CODE (DCMR 12): 1. THERMAL ENVELOPE INSULATION (DCMR 12I TABLE EC-402.1.1): GLAZING U=0.35 SKYLIGHTS U=0.60 ROOFS R=49 FRAME WALLS R=18 THERMAL MASS WALLS R=5 (CONTINUOUS) R=10 (FRAMING CAVITY) FLOORS OVER UNHEATED SPACE R=19 BASEMENT & CRAWL SPACE WALLS R=10 (CONTINUOUS) R=13 (FRAMING CAVITY) SLAB PERIMETER R=10 FOR DEPTH 2'-0"



FF109-300 Fire Rated Light Cover Inside height 8" diameter 13" Suitable for regular lights up to 6" See more details for FF109-300



FF109-350 Fire Rated Light Cover Inside height 11" diameter 15" Suitable for regular lights up to 8" See more details for FF109-350

LIST OF DRAWINGS

Table of drawing titles: SHEET NO. TITLES A1 COVER SHEET A2 STRUCTURAL NOTES A3 EXISTING FLOOR PLANS / DEMOLITION PLANS A4 PROPOSED FLOOR PLANS & NOTES A5 FLOOR PLANS OF REAR PORCHES & DETAILS A6 CROSS SECTION, FRONT & REAR ELEVATIONS A7 FOUNDATION AND FRAMING PLANS A8 WALL CONNECTIONS AND DETAILS A9 WALL CONNECTIONS AND DETAILS E1 ELECTRICAL PLANS AND NOTES P1 PLUMBING PLANS AND DIAGRAMS M1 MECHANICAL PLANS M2 PLUMBING / MECHANICAL NOTES C1 EROSION & SEDIMENT CONTROL PLAN C2 EROSION & SEDIMENT CONTROL NOTES

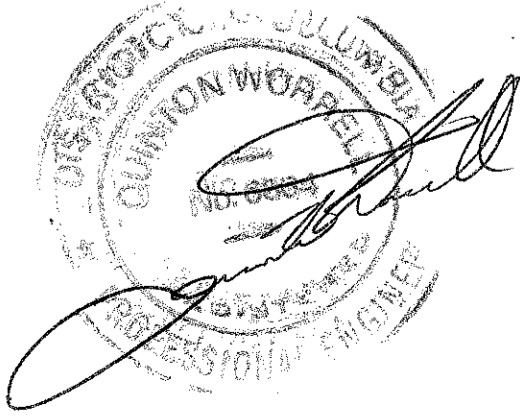


Exhibit 6

HOUSE RENOVATION AND ADDITION 1117 ALLISON STREET N.W.

A1

ARCHITECTURAL ABBREVIATIONS

∅	ANGLE	EWC	ELECTRIC WATER COOLER	MTL	METAL	TEL	TELEPHONE
Z	ANCHOR BOLT	EXG	EXISTING	N	NORTH	TEMP	TEMPERATURE
AC	AIR CONDITIONING	EXH	EXHAUST	NC	NOT IN CONTRACT	TERR	TERRAZZO
ACT	ADJUSTABLE TILE	EXP	EXPANSION	NO	NUMBER	THICK	THICK
ADD	ADDITIONAL	EXP-JT	EXPANSION JOINT	NTS	NOT TO SCALE	THRES	THRESHOLD
ADJ	ADJACENT	EXT	EXTENSION	OA	ON AXIS	TID	TOP OF STEEL
AF	ALUMINUM	FD	FLOOR DRAIN	OC	ON CENTER	TIT	TREATED
AFV	ABOVE FINISHED FLOOR	FE	FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER	TR	TYPICAL
ALT	ALTERNATE	FF	FRESH FLOOR	OH	OVERHEAD	TPH	TOILET PAPER HOLDER
AP	ACCESS PANEL	FG	FIRE GRADE	OPND	OPENING	TBH	TOOTH BRUSH/TUMBLER HOLDER
APPROX	APPROXIMATELY	FM	FRESH	OPOS	OPPOSITE	UNO	UNLESS NOTED OTHERWISE
ARCH	ARCHITECT	FL	FLOOR	OWH	OUTSIDE WALL HYDRANT	UTE	UTILITY
ATC	ACQUISITION TILE CEILING	FLOR	FLUORESCENT	P	PENUM	VCB	VINYL COVER BASE
AUTO	AUTOMATIC	FO	FIELD OPENING	PART	PARTITION	VCT	VINYL COMPOSITION TILE
AVG	AVERAGE	FPM	FIRE	PC	PLUMBING CONTRACTOR	VER	VERTICAL
BD	BOARD	FTG	FEET	PCL	PRECAST CONCRETE	VJF	VERIFIED IN FIELD
BDM	BUILDING MATERIAL	FUR	FLOORING	PL	PLASTER	VOL	VOLUME
BLK	BLOCK	GA	GARAGE	PLS	PLASTER	VSB	VINYL STRAIGHT BASE
BLKG	BLOCKING	GALV	GALVANIZED	PLS LAM	PLASTIC LAMINATE	VT	VINYL TILE
BM	BEAM	GC	GENERAL CONTRACTOR	PLT	PLATE	VTR	VISIT THROUGH ROOF
BN	BRAKING	CL	CLASS	PLN	PANEL	W	WIDE
BT	BOTTOM	GR	GRADE	PAR	PARAPET	WAN	WANSICOT
BR	BRICK	CWB	GYPSUM WALLBOARD	PARFAB	PARAFFINATED	WID	WOOD
CAB	CABINET	GYP	GYPSUM	PRE	PRESSURE	WOW	WOOD
CH	CORNER GUARD	HB	HOSE BIBB	PROP	PROPERTY	WSP	WATER STOP
CHG	CEILING HEIGHT	HD	HEAD	PROF	PROFFER	WTR	WATER
CHT	CENTRAL HEATING	HW	HARDWARE	PSF	POUND PER SQUARE FOOT	WT	WEIGHT
CL	CHAIN LINK	HM	HOLLOW METAL	PT	POINT	WT	WEIGHT
CLD	CLUST	HORZ	HORIZONTAL	PTD	PAINTED	YD	YARD
CLG	CONCRETE MASONRY UNIT	HPL	HIGH PRESSURE LAMINATE	PVC	POLYVINYL CHLORIDE		
CO	CLEAN OUT	HPT	HIGH POINT	QTY	QUANTITY		
COLM	COLUMN	HT	HEIGHT	R	RADIUS		
CONTR	CONTRACTOR	HVAC	HEATING, VENTILATING & AIR CONDITIONING	R	RUBBER		
CONC	CONCRETE	HWH	HOT WATER HEATER	R	RETURN AIR GRILLE		
CONSTR	CONSTRUCTION	HYD	HOT WATER	RBL	REINFORCED BLOCK UNITS		
CONT	CONTINUOUS	INSUL	INSULATION	RD	ROOF DRAIN		
CSWRK	CASEWORK	INSUL	INSULATED	REFL	REFLECTED		
CT	CERAMIC TILE	INT	INTERIOR	REIN	REINFORCED		
CUBIC	CUBIC	JC	JANITOR CLOSET	RES	RESERVED		
D	DIAMETER	JT	JOINT	REV	REVISION		
DB	DOUBLE	K	KITCHEN	RH	RIGHT HAND REVERSE		
DBL ACT	DOUBLE ACTING	KI	KITCHEN ISLAND	RHS	RIGHT HAND REVERSE		
DE	DETAIL	L	LENGTH	RIS	RIGID INSULATION		
DEG	DEGREE	LAM	LAMINATED	RO	ROOM		
DEPT	DEPTH	LAV	LAVATORY	ROD	ROD		
DIAG	DIAGONAL	LSB	LEFT SIDE BAY	ROOF	ROOF OVERFLOW DRAIN		
DIFF	DIFFUSER	LH	LEFT HAND	ROOF	ROOF		
DM	DIAMETER	LHR	LEFT HAND REVERSE	RWC	RAN WATER CONDUCTOR		
DN	DOWN	LP	LOW POINT	SAW	SAW SECTION		
DR	DR	LTG	LIGHTING	SECT	SECTION		
DRN	DRAIN	MANT	MAINTENANCE	SHT	SHEET		
DWG(S)	DRAWING(S)	MAX	MAXIMUM	SM	SMELT		
EA	ELECTRICAL CONTRACTOR	MC	MECHANICAL CONTRACTOR	SP	SERVICE PANEL SPECIFICATION		
EC	ELECTRICAL	MD	EXPOSED METAL DECK	SPC	STAINLESS STEEL		
EF	EXHAUST FAN	MECH	MECHANICAL	SS	STAINLESS STEEL		
EXP	EXPANSION	MET	METAL	STC	SOUND TRANSMISSION CLASS		
ELEV	ELEVATION	MFG	MANUFACTURER	STD	STANDARD		
EMER	EMERGENCY	MH	MAN HOLE	STL	STEEL		
EP	EPOXY PAINT	MIR	MIRROR	STRUC	STRUCTURE		
EPT	EPOXY PAINTED	MISC	MISCELLANEOUS	STY	STYRENE		
EQ	EQUAL	MO	MASONRY OPENING	SUSP	SUSPENDED		

ARCHITECTURAL DRAFTING SYMBOLS & NOTATIONS

	DIMENSION		NEW WALLS
	T Q.C DIMENSION		2' x 2' FLUORESCENT LIGHT FIXTURE
	C Q.C DIMENSION (COLUMNS)		BRICK
	DETAIL KEY		CMU
	DETAIL NUMBER SHEET NUMBER		BATT. INSULATION
	DRAWING DETAIL SCALE		CONCRETE
	PARTITION SYMBOL		STEEL
	FLOOR ELEVATION		RIGID INSULATION
	COLUMN CL.		EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION		
	WALL SECTION		
	ELEVATION		
	DETAIL KEY		
	2 X 2 CEILING GRID		
	2' x 4' FLUORESCENT LIGHT FIXTURE		
	NOTE INDICATOR		
	FIRE EXTINGUISHER		
	INCANDESCENT LIGHT FIXTURE		
	1 X 4 FLUORESCENT FIXTURE		
	TELEPHONE JACK		
	TELEVISION CABLE OUTLET		
	DUPLEX RECEPTACLE		
	QUADRAPLEX RECEPTACLE		
	SINGLE POLE SWITCH		
	THREE WAY SWITCH		

ZONING BUILDING CODE DATA :

BUILDING DATA:
PROJECT ADDRESS: 1117 ALLISON STREET NW
SCOPE OF WORK :

CONVERT SINGLE FAMILY DWELLING INTO THREE DWELLING UNITS. REMOVE INTERIOR PARTITIONS OF BASEMENT, FIRST AND SECOND FLOOR. ALSO REMOVE REAR EXTERIOR WALL. CONSTRUCTION NEW EXTERIOR AND INTERIOR WALLS FROM BASEMENT TO SECOND FLOOR. INSTALL NEW ELECTRICAL, NEW PLUMBING AND NEW HVAC SYSTEMS.

APPLICABLE CODES:

- 2013 DC ZONING REGULATIONS (DCMR 11)
- 2012 DC CONSTRUCTION CODE SUPPLEMENT (DCMR 12) WHICH AMENDS THE FOLLOWING:
- 2012 ICC INTERNATIONAL CODES SUPPLEMENT (DCMR 12A)
- 2011 NFPA NATIONAL ELECTRIC CODE (DCMR 12A)
- 2012 ICC INTERNATIONAL MECHANICAL CODE (DCMR 12E)
- 2012 ICC INTERNATIONAL PLUMBING CODE (DCMR 12F)
- 2012 ICC INTERNATIONAL FIRE CODE (DCMR 12H)
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE (DCMR 12I)
- 2012 INTERNATIONAL EXISTING BUILDING CODE (DCMR 12 J)
- ICC/ANSI A117.1 - 2012

ZONING DATA:

SQUARE NO:	2918
LOT NO:	0059
ZONING DISTRICT:	R-4
ZONING OVERLAY:	NONE
HISTORIC AREA/SITE:	NONE
SITE AREA:	3126 SF (PER DC RECORD)

REGULATION (Z)	EXISTING	ALLOWED/REQUIRED	PROVIDED
BUILDING HEIGHT (ZR 400.1)	± 25'-0"	40'-0" MAX (NO STORY LIMIT)	25'-0"
FLOOR AREA RATIO (ZR 402.4)	N/A	N/A	N/A
LOT OCCUPANCY (ZR 403.2)	914 SF (BLDG)	60% (1876 SF) MAX	57% (1,768.2 SF)
REAR YARD (ZR 404.1)	118'-3"	4' PER FOOT OF HT= 20' MIN	54'-11"
SIDE YARD (ZR 405.9)	N/A	NONE REQUIRED	N/A
OFF-STREET PARKING (ZR 2101.1)	2	1 PER EACH 2 UNITS= 2 MIN	2

IBC CHAPTER 3 - USE & OCCUPANCY:
 - R-2 (RESIDENTIAL - PERMANENT W/ MORE THAN TWO DWELLING UNITS)

IBC CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREAS:

1. HEIGHT: (IBC TABLE 503, IBC SECTION 504.2)			
CONST.	USE	ALLOWED	PROVIDED
	R-2	(STORIES)	(STORIES)

2. AREA: (IBC TABLE 503, IBC SECTION 508)			
CONST.	USE	FLOOR	AREA
ALLOWED	R-2	TOTAL PER FLOOR	SF

PROVIDED			
	R-2	CELLAR (NON-FAR)	1418 SF
		FIRST FLOOR	1418 SF
		SECOND FLOOR	1418 SF
TOTAL (CONSTRUCTION)			

IBC CHAPTER 6 - TYPES OF CONSTRUCTION:
 - TYPE: V-B

IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION:

1. BUILDING ELEMENT FIRE RESISTANT RATINGS: (IBC TABLES 601 & 602)				
BUILDING ELEMENTS	CONDITION	LOCAL	RATING REQUIRED	RATING PROVIDED
STRUCTURAL FRAME			0 HR	0 HR
BEARING WALLS	EXTERIOR		2 HR	2 HR
	INTERIOR		0 HR	0 HR
NONBEARING EXTERIOR WALLS & PARTITIONS	PER FIRE SEPARATION DISTANCE	NON PROVIDED	N/A	N/A
NONBEARING INTERIOR WALLS & PARTITIONS			0 HR	0 HR
FLOOR CONSTRUCTION			0 HR	0 HR
ROOF CONSTRUCTION			0 HR	0 HR

2. FIRE BARRIERS: (IBC SECTION 705)			
BUILDING ELEMENTS	SEPARATION AND/OR PROTECTION REQUIRED	SEPARATION AND/OR PROTECTION PROVIDED	
SHAFT ENCLOSURES (IBC SECTION 707.4)	2 HR	2 HR	
EXIT ENCLOSURES (IBC SECTION 1020.1)	2 HR	2 HR	

3. FIRE PARTITIONS: (IBC SECTION 708.3)		
BUILDING ELEMENTS	RATING PER	RATING PROVIDED
ASSEMBLIES BETWEEN DWELLING UNITS	1 HR	1 HR

IBC CHAPTER 7 - FIRE-RESISTANCE-RATED CONSTRUCTION (CONTINUED)			
BUILDING ELEMENT ASSEMBLY LOCATION	ASSEMBLY RATING REQUIRED	ELEMENT RATING REQUIRED	ELEMENT RATING PROVIDED
FIRE DOORS			
FIRE BARRIERS (>1HR)	2 HR	1.5 HR	1.5 HR
FIRE WINDOWS			
INTERIOR FIRE BARRIERS (>1HR)	2 HR	LABELLED PER IBC SECTION 715.2	LABELLED PER IBC SECTION 715.2

- IBC CHAPTER 9 - FIRE PROTECTION SYSTEMS:**
- AUTOMATIC SPRINKLER SYSTEM: (IBC SECTION 903.3.1.2) NFPA 13R AUTOMATIC SPRINKLER SYSTEM PROVIDED
 - STANDARD SYSTEM: (DCMR 12A SECTION 905.3.1 EXCEPTION #1) CLASS 1 STANDPIPE SYSTEM PROVIDED
 - FIRE ALARM & DETECTION SYSTEM: (IBC SECTION 907.2.9) MANUAL FIRE ALARM SYSTEM PROVIDED
 - OTHER PROTECTION PROVISIONS: SMOKE DETECTORS PROVIDED

IBC CHAPTER 10 - MEANS OF EGRESS:

1. OCCUPANT LOAD: (IBC SECTION 1004, IBC TABLE 1004.1.1)				
LOCAL	USE	AREA	LOAD PER OCCUPANT	OCCUP. LOAD
UNIT (CELLAR)	RESIDENTIAL	1418 SF	200 SF	7
UNIT (1ST FL.)	RESIDENTIAL	1418 SF	200 SF	7
UNIT (2ND FL.)	RESIDENTIAL	1418 SF	200 SF	7
BUILDING TOTAL				

2. EGRESS WIDTH: (IBC SECTION 1005, IBC TABLE 1005.1)		
BUILDING ELEMENT	REQUIRED	PROVIDED
STAIRWAY (IBC SECTION 1008.1)	36"	36"
DOORS (IBC SECTION 1008.1.1)	36"	36"
CORRIDORS (IBC SECTION 1017.2)	36"	42"

3. MINIMUM NUMBER OF EXITS (IBC SECTION 1019.1)			
FLOOR	OCCUP. LOAD	REQUIRED	PROVIDED
UNIT (CELLA)	7	2	2
UNIT (1ST FL.)	7	2	2
UNIT (2ND FL.)	7	2	2

IBC CHAPTER 11 - ACCESSIBILITY:
 1. SCOPING REQUIREMENTS: (IBC SECTION 1103) THIS PROJECT IS NOT ACCESSIBLE.

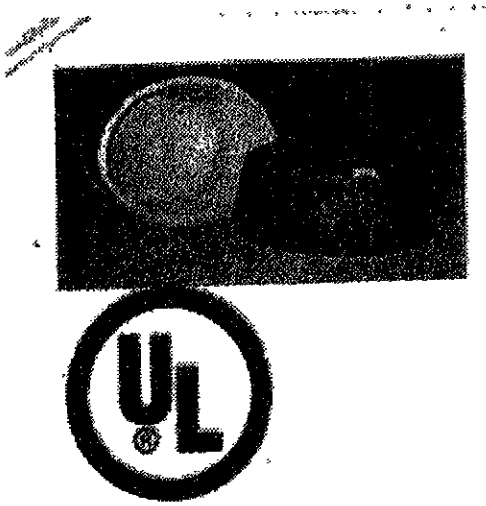
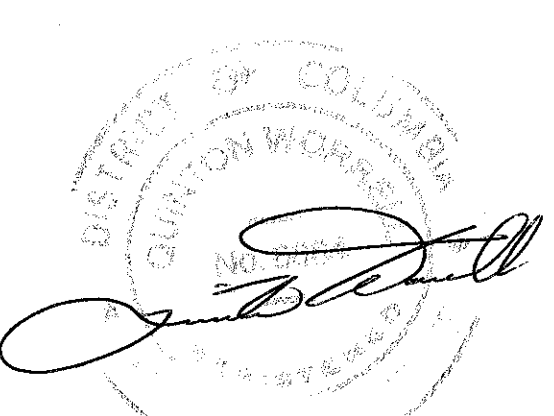
IBC CHAPTER 13 - ENERGY EFFICIENCY:

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED BY THE DISTRICT OF COLUMBIA RESIDENTIAL ENERGY CODE (DCMR 12I):

- THERMAL ENVELOPE INSULATION (DCMR 12I TABLE EC-402.1.1):
 - GLAZING: U=0.35
 - SKYLIGHTS: U=0.50
 - ROOFS: R-49
 - FRAME WALLS: R-19
 - THERMAL MASS WALLS: R-5 (CONTINUOUS)
 - R-10 (FRAMING CAVITY)
 - FLOORS OVER UNHEATED SPACE: R-19
 - BASEMENT & CRAWL SPACE: R-10 (CONTINUOUS)
 - R-13 (FRAMING CAVITY)
 - R-10 FOR DEPTH 2'-0"
 - SLAB PERIMETER
- AIR INFILTRATION (DCMR 12I SECTIONS EC-402.4.4 & EC-403.2.2):
 - A. WINDOWS, SKYLIGHTS & SLIDING DOORS NOT TO EXCEED 0.3 CFM PER SQUARE FOOT OF FENESTRATION
 - B. SWINGING DOORS NOT TO EXCEED 0.5 CFM PER SQUARE FOOT OF DOOR AREA. PROVIDED 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL SILL PLATES
 - C. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINTS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FOAM SEALER OR SIMILAR SEALANT.

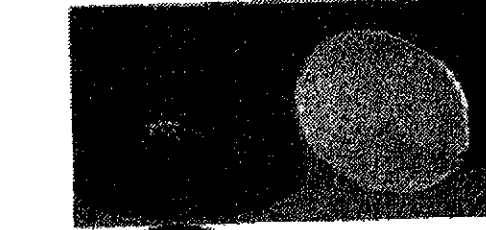
ZONING DATA CALCULATION:	
EXISTING AREA:	
Porch: 6'-6"x11'-11" = 73 SF	
Front Deck: 6'-0"x19'-0" = 115 SF	
Building Area: 32'-6"x20'-0" = 652 SF	
TOTAL: 914 SF EXIST. LOT OCCUPANCY	
NEW LOT OCCUPANCY:	
Existing Building: 32'-6" X 20'-0" = 652 SF	
New Addition: 44'-11"x20'-0" = 882.2 SF	
Porch: 9'-0"x20'-0" = 180 SF	
Rear Stair: 6'-0"x9'-0" = 54 SF	
TOTAL: 1,768.2 SF	

* Zoning Data Calculation refers to SHEET C1 and C1-Copy



FF109-300 Fire Rated Light Cover
 Inside height 8" diameter 13"

Suitable for regular lights up to 6"
 See more details for FF109-300



FF109-350 Fire Rated Light Cover
 Inside height 11" diameter 15"

Suitable for regular lights up to 8"
 See more details for FF109-350

LIST OF DRAWINGS

SHEET NO.	TITLES
A1	COVER SHEET
A2	STRUCTURAL NOTES
A3	EXISTING FLOOR PLANS/ DEMOLITION PLANS
A4	PROPOSED FLOOR PLANS & NOTES
A5	FLOOR PLANS OF REAR PORCHES & DETAILS
A6	CROSS SECTION, FRONT & REAR ELEVATIONS
A7	FOUNDATION AND FRAMING PLANS
A8	WALL CONNECTIONS AND DETAILS
A9	WALL CONNECTIONS AND DETAILS
E1	ELECTRICAL PLANS AND NOTES
F1	PLUMBING PLANS AND DIAGRAMS
M1	MECHANICAL PLANS
M2	PLUMBING / MECHANICAL NOTES
C1	EROSION & SEDIMENT CONTROL PLAN
C2	EROSION & SEDIMENT CONTROL NOTES

HOUSE RENOVATION
 AND ADDITION
 1117 ALLISON STREET N.W

A1

Exhibit 7

- Cement Board - 1/2 in. cement board applied vertical or horizontal - DUROCK Brand Cement Board Next Gen
- Sheathing Materials - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically
- Wood Studs - 2x4 wood studs spaced max 16 in. OC
- Batts and Blankets - 3 in. mineral wool batt insulation
- Gypsum Board - 5/8 in. thick gypsum board applied vertically or horizontally - SHEETROCK Brand UltraLight Firecode X Gypsum Panels

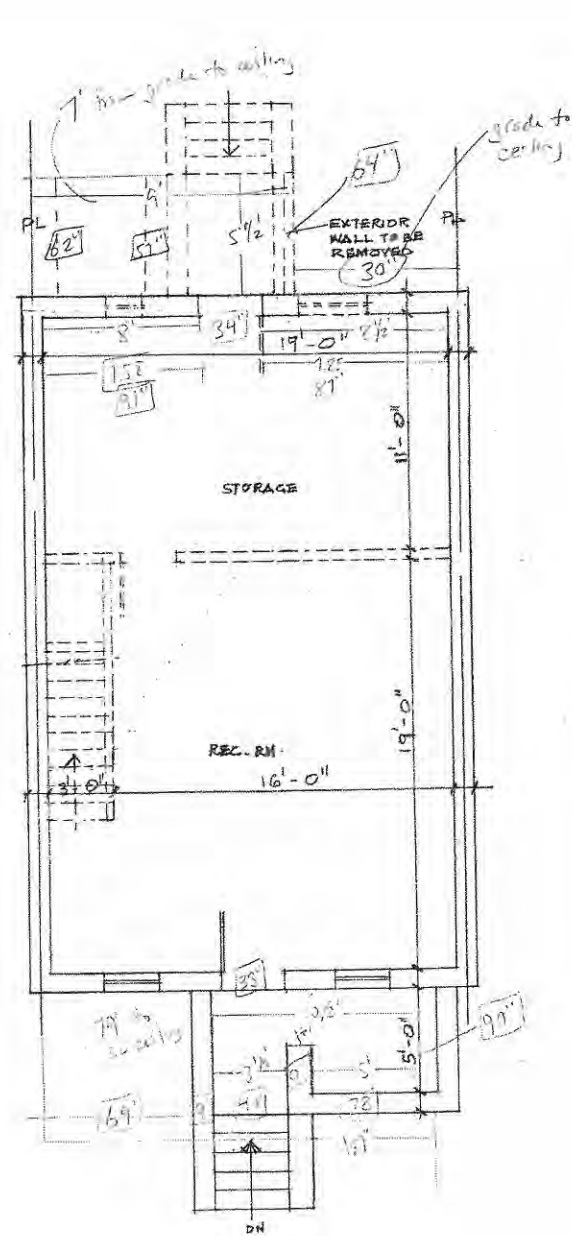


Fire Test
UL U303 or GA-WP-8131
Wood Stud (Loadbearing)
Exterior Walls

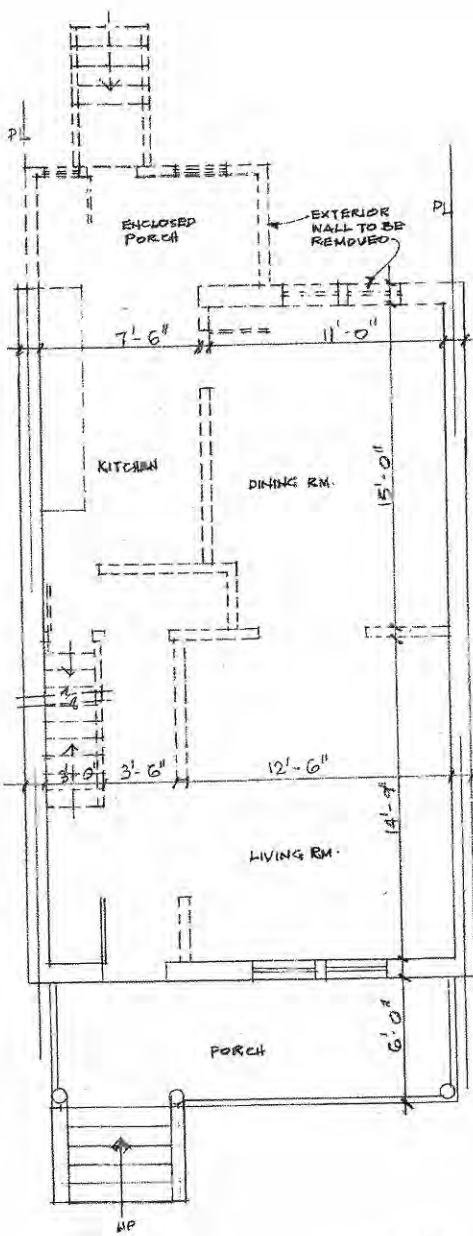
Fire Rating: 1 hr.
STC: N/A
Thickness (in.): 5-1/8"

- Cement Board - 1/2 in. thick board, applied vertical or horizontal - DUROCK Brand Cement Board Next Gen
- Sheathing Materials - Min 15/32 in. thick, 4 ft wide, wood structural panels, min grade "sheathing" applied vertically
- Wood Studs - 2x4 wood studs spaced max 16 in. OC
- Batts and Blankets - 3 in. mineral wool batt insulation
- Gypsum Board - 5/8 in. thick gypsum board applied vertically or horizontally - SHEETROCK Brand UltraLight Firecode X Gypsum Panels

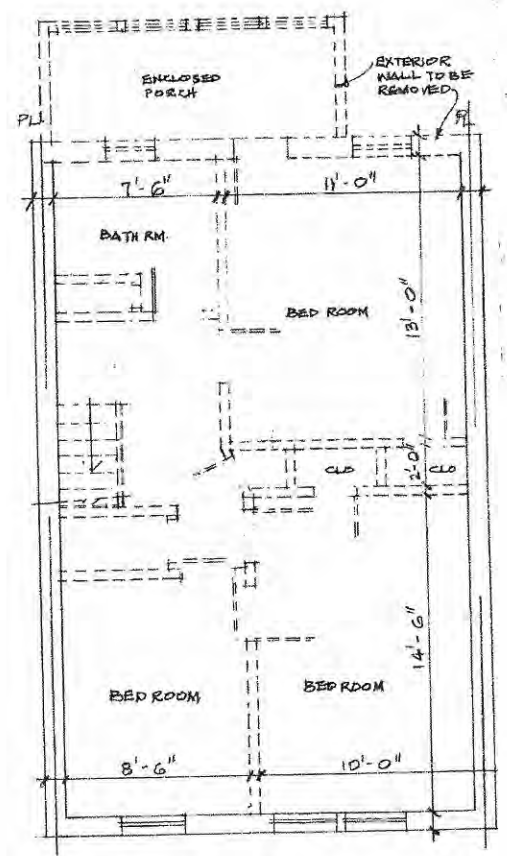
Visit U303



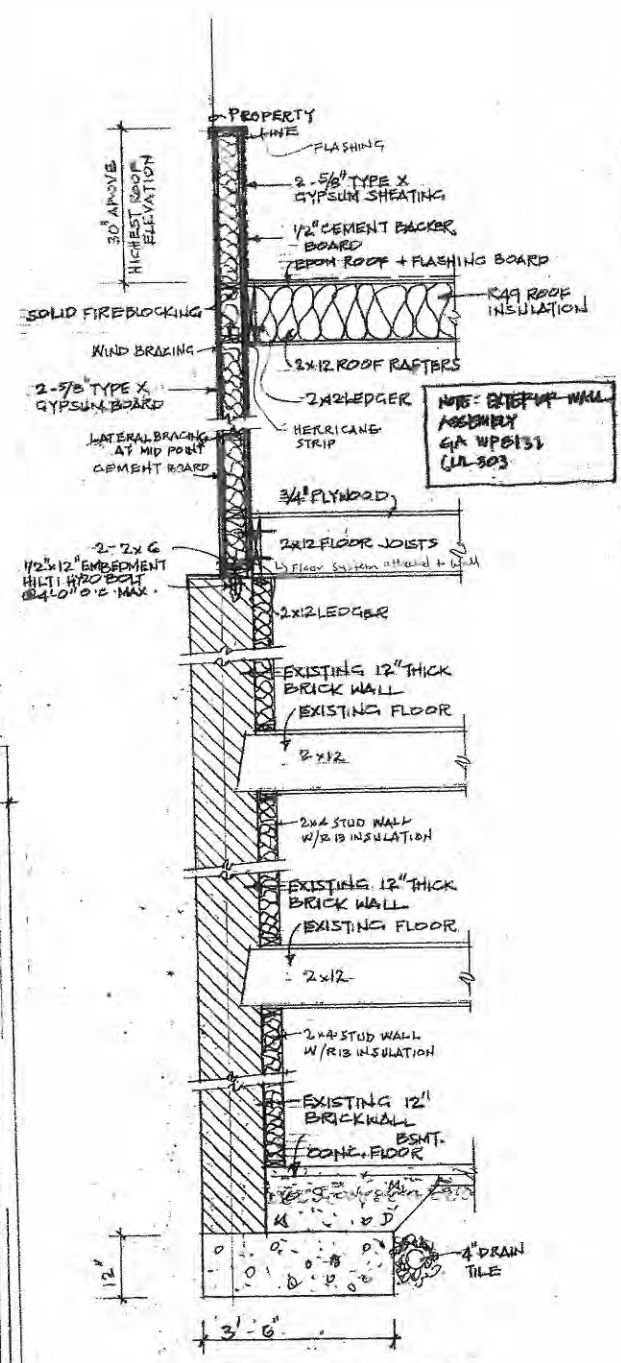
EXISTING BASEMENT FLOOR PLAN
SCALE: 1/2" = 1'-0"



EXISTING FIRST FLOOR PLAN
SCALE: 1/2" = 1'-0"

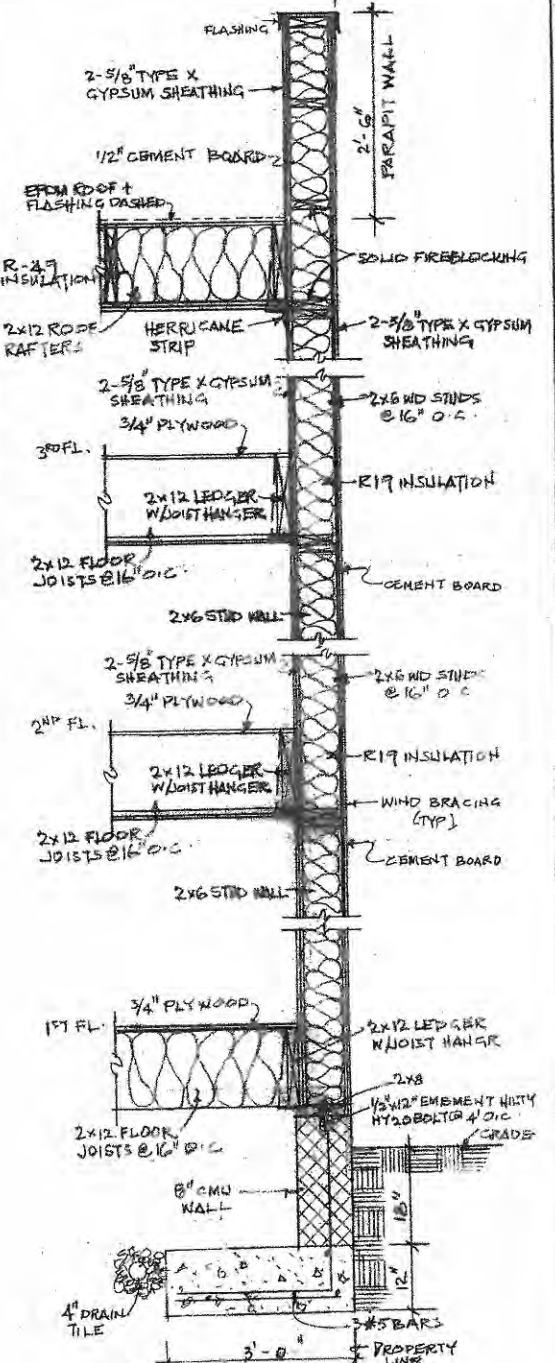


EXISTING SECOND FLOOR PLAN
SCALE: 1/2" = 1'-0"



FACE ON LINE DETAIL A
SCALE: 1/2" = 1'-0"

See Underpinning Details on sheet A5



EXTERIOR WALL DETAIL B
SCALE: 1/2" = 1'-0"

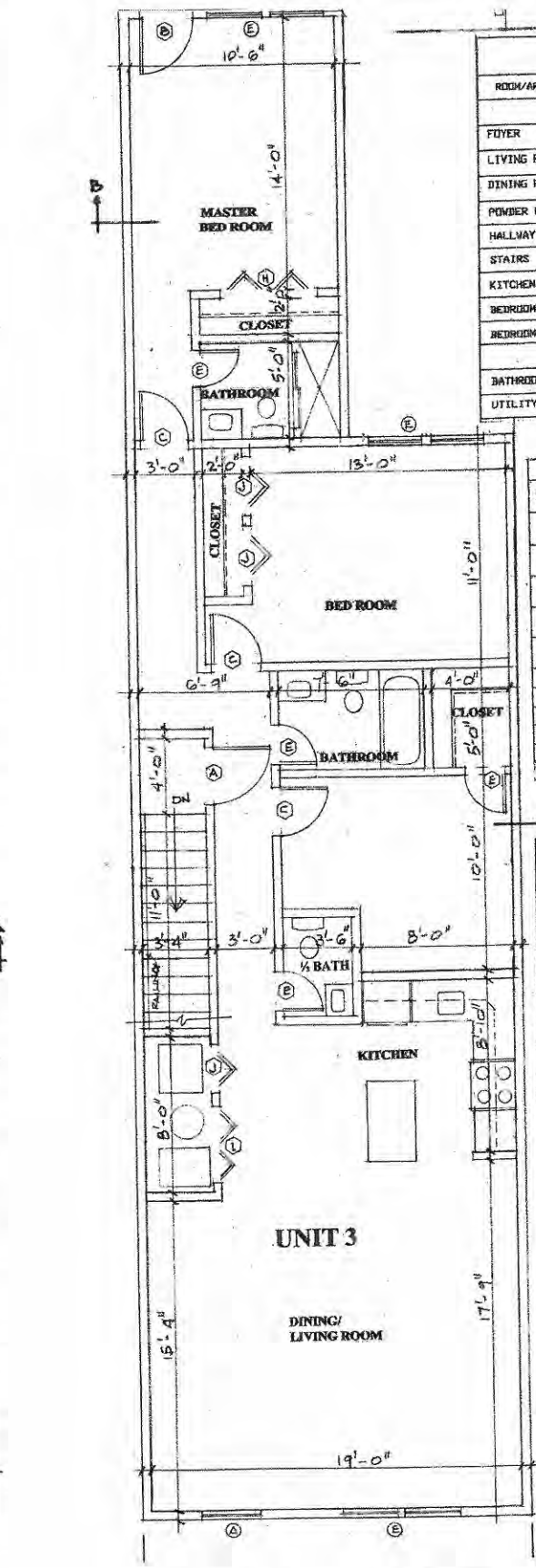
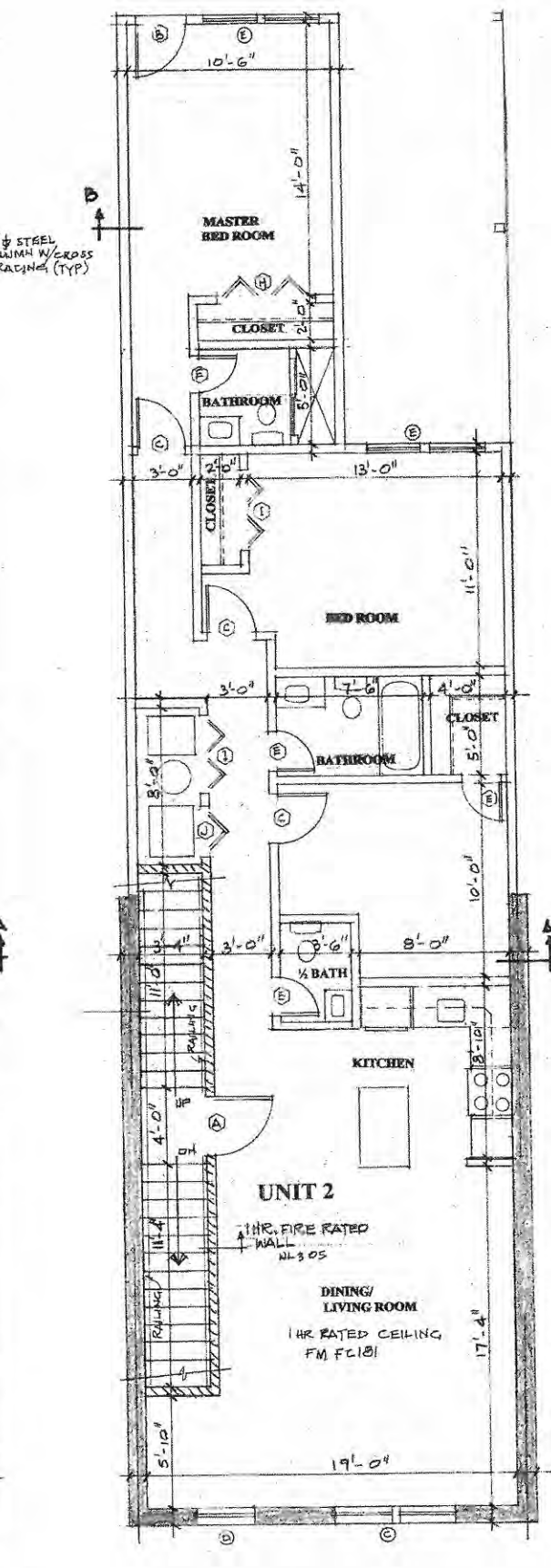
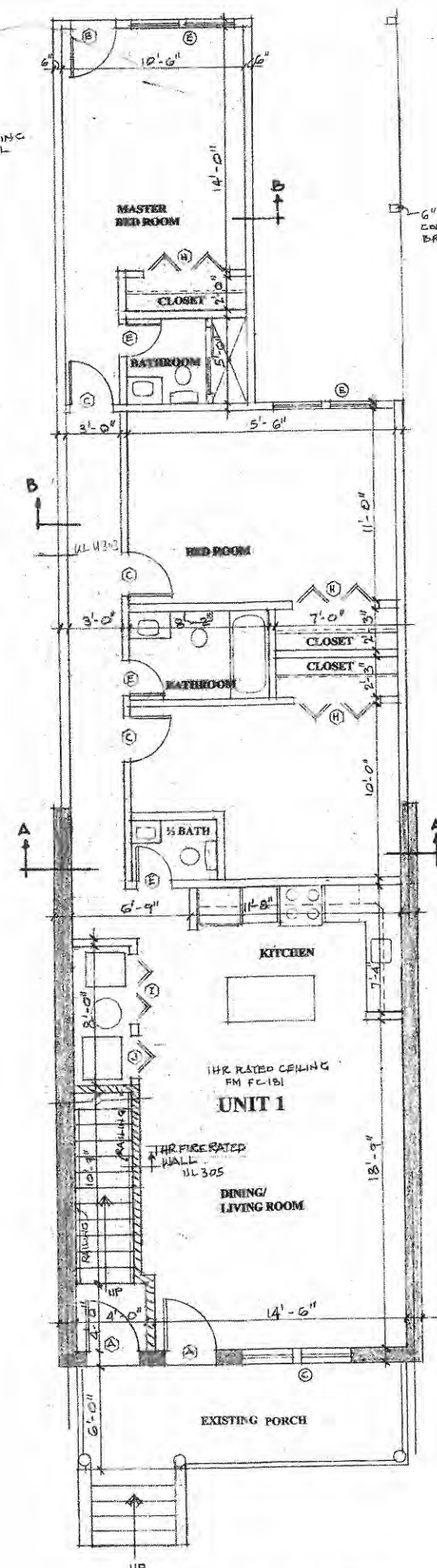
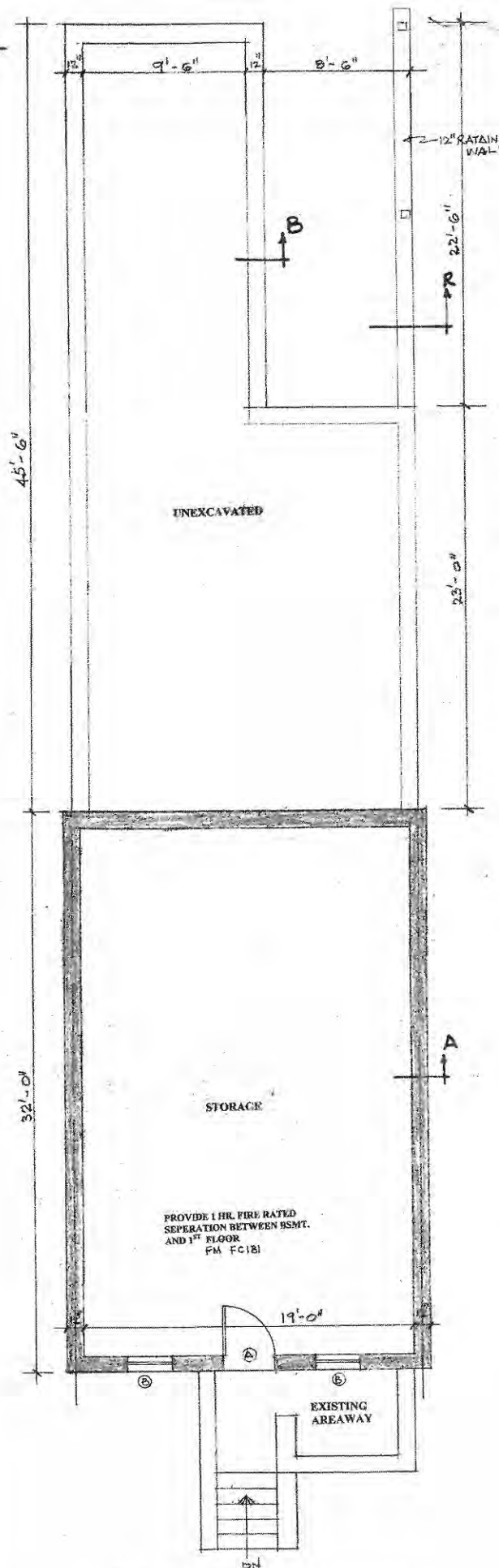
PARTITION LEGEND	
---	EXIST. PARTITION TO REMAIN
---	EXIST. PARTITION TO BE REMOVED

Handwritten signature

HOUSE RENOVATION AND ADDITION
1117 ALLISON STREET N.W.

A3

Exhibit 9

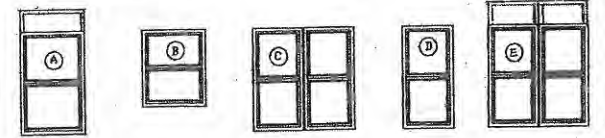


ROOM FINISH SCHEDULE						
ROOM/AREA	FLOOR	WALL	BASE	WAINSCOT	CEILING	REMARKS
FOYER	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	REFINISH & REPAIR EXISTING
LIVING ROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
DINING ROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
POWDER ROOM	CERAMIC TILE	GYP. BD.	CERAMIC (COVEED)	NONE	GYP. BD.	
HALLWAY	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
STAIRS	OAK	GYP. BD.	5" WOOD	NONE	GYP. BD.	
KITCHEN	12" x 12" VINYL TILE	GYP. BD.	5" WOOD	NONE	GYP. BD.	
BEDROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
BEDROOM	HARDWOOD	GYP. BD.	5" WOOD	NONE	GYP. BD.	
BATHROOM	CERAMIC TILE	GYP. BD.	CERAMIC (COVEED)	CERAMIC TILE	GYP. BD.	
UTILITY ROOM	12" x 12" VINYL TILE	GYP. BD.	5" WOOD	NONE	GYP. BD.	

DOORS SCHEDULE							
SYM. BOL.	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPER	QUANTITY	REMARKS
A	3'-0"	6'-8"	1 3/8"	WOOD	SOLID CORE		1 HR. FIRE RATED DOOR
B	2'-8"	6'-8"	1 3/8"	WOOD	SOLID CORE		
C	2'-6"	6'-8"	1 3/8"	WOOD	SOLID CORE		
D	2'-4"	6'-8"	1 3/8"	WOOD	SOLID CORE		
E	2'-8"	6'-8"	1 3/8"	WOOD	SOLID CORE		
F	4'-0"	6'-8"	1 3/8"	WOOD	FRENCH		
G	6'-0"	6'-8"	1 3/8"	WOOD	FRENCH		
H	5'-0"	6'-8"	1 3/8"	WOOD	BIFOLD		
I	4'-0"	6'-8"	1 3/8"	WOOD	BIFOLD		
J	3'-0"	6'-8"	1 3/8"	WOOD	BIFOLD		
K	2'-0"	6'-8"	1 3/8"	METAL	PATIO		

WINDOW SCHEDULE					
NUMBER	SIZE	TYPE	MATERIAL	GLAZING	REMARKS
(A)	3'-0" x 2'-0" (2)	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
(B)	2'-6" x 3'-4" (2)	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
(C)	6'-0" x 5'-6" (2)	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
(D)	2'-6" x 5'-6" (2)	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
(E)	7'-0" x 7'-0" (2)	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	
(F)	2'-3" x 3'-4" (2)	DOUBLE-HUNG	VINYL CLAD	1" INSULATED DOUBLE-PANE	

NOTES:
 1. ALL WINDOWS SHALL BE SUPPLIED WITH EXTERIOR FULL ALUMINUM SCREENS.
 2. SIZES SHALL BE VERIFIED AT THE SITE WITH FIELD MEASUREMENTS ONLY.



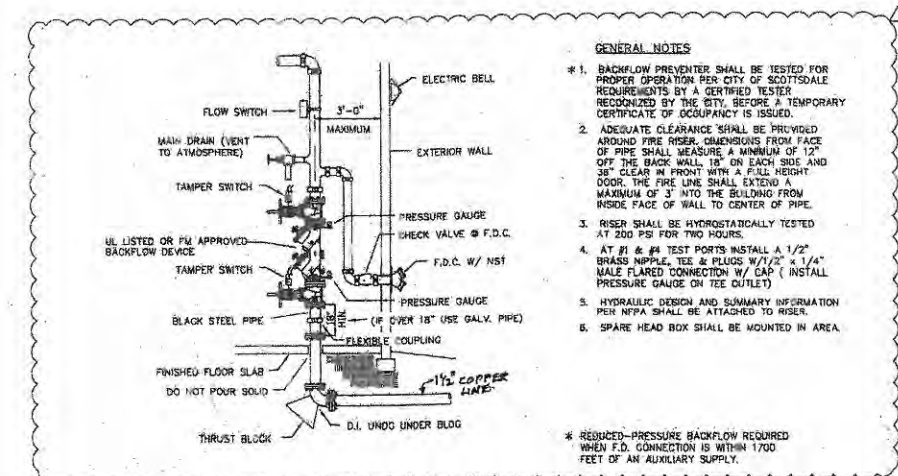
PARTITION LEGEND	
(Solid line)	WALL / EXIST. PARTITION TO REMAIN
(Dashed line)	EXIST. PARTITION TO BE REMOVED
(Thin solid line)	NEW PARTITION

HOUSE RENOVATION AND ADDITION
 1117 ALLISON STREET N.W.

A4

Exhibit 10

Handwritten signature and date: 11/20/15



- GENERAL NOTES**
- BACKFLOW PREVENTER SHALL BE TESTED FOR PROPER OPERATION PER CITY OF SCOTTSDALE REQUIREMENTS BY A CERTIFIED TESTER RECOGNIZED BY THE CITY, BEFORE A TEMPORARY CERTIFICATE OF OCCUPANCY IS ISSUED.
 - ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK WALL, 18" ON EACH SIDE AND 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3" INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.
 - RISER SHALL BE HYDROSTATICALLY TESTED AT 200 PSI FOR TWO HOURS.
 - AT 90 & 45 DEGREE TEST PORTS INSTALL A 1/2" BRASS NIPPLE, TEE & PLUGS 1/2" x 1/4" MALE FLARED CONNECTION W/ CAP (INSTALL PRESSURE GAUGE ON TEE OUTLET)
 - HYDRAULIC DESIGN AND SUMMARY INFORMATION PER NFPA SHALL BE ATTACHED TO RISER.
 - SPARE HEAD BOX SHALL BE MOUNTED IN AREA.
- * REDUCED-PRESSURE BACKFLOW REQUIRED WHEN F.D. CONNECTION IS WITHIN 1700 FEET OF AN AUXILIARY SUPPLY.

FIRE SPRINKLER RISER DETAIL WITH WALL MOUNT FD CONECTION

SCALE: NOT TO SCALE

LIST OF STANDARDS

SILT FENCE ——— SF ———

LIMITED OF DISTURBANCE - - - - L.O.D. - - - -

STABILIZED CONSTRUCTION ENTRANCE

SOIL EROSION NOTES

- A SEDIMENT AND EROSION CONTROL METHOD SHALL BE INSTALLED BEFORE THE START OF ANY EXCAVATION AND/OR CONSTRUCTION AS PER STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE DISTRICT OF COLUMBIA. IF AN ON-SITE INSPECTION REVEALS FURTHER EROSION CONTROL MEASURES ARE NECESSARY, THE SAME SHALL BE PROVIDED.
- ALL DEBRIS IS TO BE IMMEDIATELY REMOVED FROM SITE.
- STREETS/ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES DURING EXCAVATION AND CONSTRUCTION.
- ALL CATCH BASIN AND AREA DRAINS SHALL BE PROTECTED DURING EXCAVATION AND CONSTRUCTION.
- IF ANY DRAIN BASIN OR DRAINAGE BECOMES CLOGGED AS A RESULT OF EXCAVATION OR CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS CLEANING.
- WHEN SEDIMENT TRAP HAS REACHED 67% CAPACITY, CLEAN TRAP AS REQUIRED.
- ANY STOCKPILING, REAMBERS OF LOCATION SHALL BE STABILIZED AND COVERED WITH PLASTIC OR CANVAS. AFTER ITS ESTABLISHMENT AND FOR DURATION OF THE PROJECT.
- AFTER REMOVAL OF SEDIMENT, PROVIDE GRADING OVER TO PREVENT EROSION AND SEDIMENT RUNOFF FROM OCCURRING, SUCH AS SOD, PINE, BROOKBAM OR MULCH, ETC., AS REQUIRED.

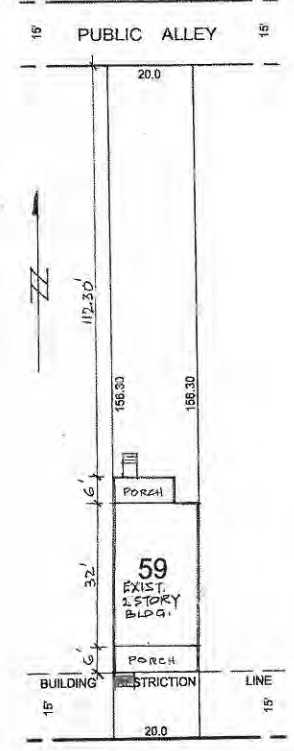
SEDIMENT CONTROL APPROVAL

PLAN NUMBER

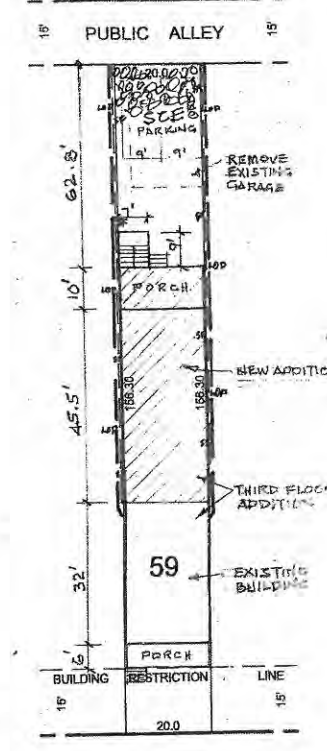
THIS APPROVAL IS FOR GRADING AND SEDIMENT CONTROL ONLY. PERMITTEE/CONTRACTOR IS REQUIRED TO CONSTRUCT EROSION CONTROL FEATURES SHOWN HEREON. HE SHALL NOTIFY THE OFFICE AT NUMBER BELOW AT LEAST 24 HOURS BEFORE START OF PROJECT FOR FINAL INSPECTION.

DATE

FLOODING AND DESIGN CONTROL SUBJECT



ALLISON STREET, N.W.
EXISTING SITE PLAN
SCALE: 1"=20'



ALLISON STREET, N.W.
PROPOSED SITE PLAN
SCALE: 1"=20'

STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION SPECIFICATIONS

- FRAME SIZE - USE 2" STAKE OR EQUIVALENT ON RECYCLED CONCRETE EQUIPMENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AS POINTS WHERE WHEELS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF FLAGG PILES WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE FILTERED ACROSS THE ENTRANCE. IF FLOWING IS UNPRACTICAL, A DRAINAGE BASIN WITH 2% SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED BY A CONTRACTOR WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC MOWING WITH ADDITIONAL STAKES AS CONDITIONS DEMAND AND REMOVE AND/OR CLEANUP OF ANY DEBRIS USED TO TRAP SEDIMENT. ALL SEDIMENT SHALL BE COLLECTED, WASHED OR TRACKED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WARRANTY - SHEETS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN REQUIRED AS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STAKES AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND REPAIRS/WARRANTY SHALL BE PROVIDED AFTER EACH RAIN.

PROJECT DESCRIPTION

This project entails the construction of rear & 3RD FL. addition to the building as shown on plan.

Bl 409828

Mg 2/5/15

Erosion & Sediment Control Plan
1117 ALLISON STREET N.W.
LOT 0059 SQUARE 2918
WASHINGTON DC
DATE: 07/16/14 SCALE: 1"=20'

Zone:	
Lot Size:	3126 S.F.
Impervious Area:	
Lot Coverage Proposed:	1933 S.F.
Lot Coverage EXIST:	920 S.F.
Disturbed Area:	2350 S.F. 2350
Volume of Cut:	71 cu. yd.
Volume of Fill:	0

C1



1117 Allison Street, NW Multi-Family Residential Development

Zoning Peer Review Report

Submitted to:
Lyn Abrams
1119 Allison Street, NW
Washington, DC 20011

Prepared by:
**Workshop for High Performance
Architecture PLLC**
3025 Daniel Lane, NW

October 21, 2015

Workshop for High Performance Architecture PLLC [or WHiP Architecture] is a single-member, limited liability company providing professional architectural, planning and interior design services. Founded in 2013 by Patrick Williams, AIA, NCARB, LEED AP BD+C, WHiP Architecture fully embraces the Integrated Design Approach and Integrated Team Process methodologies for designing and building which assures the most responsive, accurate and cost effective project outcomes.

This Zoning Peer Review was conducted by **Patrick Williams**, AIA, NCARB, LEED AP BD+C, Principal & Owner, who is a Registered Architect in the District of Columbia.

Table of Contents

1.0 Introduction.....	1
2.0 Project Description	1
3.0 Peer Review Scope Statement	1
4.0 Summary of Peer Review Findings	3
4.1 Zoning Regulation Review Items	3
4.2 Permit Drawings Review Items.....	4
5.0 Appendix.....	7
5.1 Zoning Requirements Analysis	7

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1.0 INTRODUCTION

Workshop for High Performance Architecture PLLC [WHiP Architecture] has completed an independent peer review of the Zoning Regulations compliance for **1117 Allison Street, NW** project, as described in the revised Permit Set drawings submitted to DCRA on or around October 8, 2015 and currently being reviewed under building permit application **B1600488**. The 1117 Allison Street, NW proposed multi-family residential development is located at the north side of the 1100 block of Allison Street, NW and shares a property wall separation with 1119 Allison Street NW, in Washington, DC 20011.

The purpose of this Peer Review is to evaluate the Zoning compliance for the proposed 1117 Allison Street, NW multi-family residential development project on behalf of Lyn Abrams, the owner of the adjoining residence at 1119 Allison Street, NW, as per **Section 3.0 Peer Review Scope Statement**.

2.0 PROJECT DESCRIPTION

The existing residential building on the property located at 1117 Allison Street, NW, Washington, DC 20001 is a two-story, single family row house with basement. The proposed multi-family residential development would be created by demolishing all of this existing residential building, except the front elevation abutting Allison Street, NW and the existing party walls.

As currently proposed, the project would contain 3 residential units, each two-bedroom and approximately 1,463 s.f. Gross Floor Area. Each residential unit occupies a complete floor level. On-site parking totaling 2 spaces would be provided at grade level at the rear of the property, abutting a 15-foot wide public alley.

3.0 PEER REVIEW SCOPE STATEMENT

As a component of our client's Board of Zoning Adjustments (BZA) case hearing **BZA 19067** which challenges the legitimacy of this Project, Lyn Abrams has retained Workshop for High Performance Architecture (WHiP Architecture) to conduct a Zoning review of the revised Permit Set associated with the current building permit application **B1600488**, which proposes revisions to building permit **B1505734** previously issued by DCRA on May 27, 2015 for the Project. The scope of this review is limited to specific zoning items identified as follows:

- Percentage of Lot Occupancy

- Pervious Surface

The current Zoning regulations that have purview over the 1117 Allison Street, NW multi-family residential development project are as follows:

- **Zoning:** DC Zoning Regulation (DCMR 11)

In furtherance to the above, a review was also conducted of the revised Permit Set drawings submitted to DCRA on or around October 8, 2015 and currently being reviewed under building permit application B1600488, and compared to the Permit Set drawings associated with building permit B1505734, as previously issued by DCRA on May 27, 2015 for the Project, specifically regarding the Front Porch and Plat.

This Peer Review Report provides our conclusions in **Section 4.0 Summary of Peer Review Findings**, as well as our analysis of the Zoning Regulation requirements in **Section 5.0 Appendix**.

4.0 SUMMARY OF PEER REVIEW FINDINGS

Workshop for High Performance Architecture (WHiP Architecture) provides the following as its summary of the findings of the Zoning Peer Review, from our analysis of the information conveyed in and/or derived from the revised Permit Set drawings submitted to DCRA on or around October 8, 2015 and currently being reviewed under building permit application B1600488.

4.1 Zoning Regulation Review Items:

DC ZONING REGULATION (DCMR 11)

Lot Occupancy:

PEER REVIEW NOTE #1: The existing lot area is 3126 square feet. However, there are significant ambiguities and dimensional errors in the Plat on Revised Sheets C1 and Proposed First Floor Plan on A4 of the May 2015 permit drawings. If you add the dimensions shown on Revised Sheet C1 that indicate the total length of the “Existing Building”, “New Addition” and “Porch”, it calculates to 87.5 feet. However, if you add the same dimensions shown on Sheet A4, it calculates to 83 feet. Additionally, the individual dimensions for those areas are different between Revised Sheet C1 and A4. Furthermore, the existing front porch is, in actuality, at least 8 feet deep, not 6 feet as shown on these sheets. Therefore, separate calculations were done for each sheet.

In the May 2015 Permit Set drawings, the information derived from and/or provided in the Plat on Revised Sheet C1 results in a calculated lot occupancy (which includes the primary structure, covered rear deck, covered rear stairway, covered front porch and covered side atrium) of 1960 square feet or 62.70 percent of the lot area.

In the May 2015 Permit Set drawings, the information derived from and/or provided in the Proposed First Floor Plan on Sheet A4 results in a calculated lot occupancy (which includes the primary structure, covered rear deck, covered rear stairway, covered front porch and covered side atrium) of 1870 square feet or 59.82 percent of the lot area.

In the revised Permit Set drawings (October 2015), the calculated lot occupancy, which includes the primary structure, covered rear deck, covered rear stairway and covered side atrium is 1781.14 square feet or 56.97 percent of the lot area.

- **Reference: DCMR 11-403 Percentage of Lot Occupancy**

- o *No structure, including its accessory building, shall occupy its lot in excess of 60 percentage of lot occupancy.*

Pervious Surface:

PEER REVIEW NOTE #2: Based on information provided and/or derived from Sheets C1 and C1-Copy In the revised Permit Set drawings (October 2015), the calculated percentage of pervious surface as proposed is 34.74%.

- **Reference: DCMR 11-199 Definitions**

- o **Impervious surface** - an area that impedes the percolation of water into the subsoil and impedes plant growth. Impervious surfaces include the footprints of principal and accessory buildings, footprints of patios, driveways, other paved areas, tennis courts, and swimming pools, and any path or walkway that is covered by impervious material. (39 DCR 1904)

- **Reference: DCMR 11-412 Pervious Surface**

- o The minimum percentage of pervious surface of a lot in an R-4 Residence District which is larger than 2,000 square feet, shall be 20 percent (Section 412.4). The percent of pervious surface area shall be calculated by dividing the total area of pervious surfaces on the lot by the total area of the lot.

4.2 Permit Drawings Review Items:

Front Porch (Ambiguities & Dimensional Errors):

PEER REVIEW NOTE #3: In the revised Permit Set drawings (October 2015), Sheet A3 indicates that the front porch is to be demolished. However, on the previous Sheet A3 in the approved permit B1505734 (May 2015), the front porch was shown as existing to remain. Since, the previous Sheet A3 did not show the front porch as being removed but the new Sheet A3 does, this is essentially a material change in the revised Permit Set drawings (October 2015). Also, the existing front porch is in actuality at least 8 FT deep, not 6 FT as shown on Sheet A3.

Plat (Dimension Errors):

PEER REVIEW NOTE #4: In the previous Zoning & Building Code Peer Review Report dated April 27, 2015, dimension errors were identified on the Plat associated with the approved permit B1505734 (May 2015). Adjustments were needed regarding the 15 FT Building Reservation Line setback. The Plat drawings indicated on Sheets C1 and C1-Copy in the revised Permit Set drawings (October

2015) continue to have dimension errors. The 63 FT 9 5/8 inch dimension shown at the rear of the lot is not correct and should instead be 49.3 FT.

- **Reference: DCRA Building Plat Instructions** – *The Department of Consumer & Regulatory Affairs' (DCRA) Office of the Surveyor maintains the legal records of all land plats and subdivisions of private and District government property within the District of Columbia. The existing records cover a period of more than two centuries. DCRA requires that the Plat is to be drawn by the DC Office of the Surveyor upon which the new development footprint is to be drawn by the architect/civil engineer.*

Peer Reviewer:

Patrick Williams, AIA, NCARB, LEED AP BD+C,

Principal | Owner, WHiP Architecture

District of Columbia Architect License #ARC 101164

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5.0 APPENDIX

5.1 Zoning Requirements Analysis

The 1117 Alison Street, NW multi-family residential development property is zoned within the District of Columbia's **R-4 Residence zoning district**. The R-4 Residence District Zoning requirements permit matter-of-right development of single-family residential uses (including detached, semi-detached, row dwellings, and flats), churches and public schools with a minimum lot width of 18 feet, a minimum lot area of 1,800 square feet and a maximum lot occupancy of 60% for row dwellings, churches and flats, a minimum lot width of 30 feet and a minimum lot area of 3,000 square feet for semi-detached structures, a minimum lot width of 40 feet and a minimum lot area of 4,000 square feet and 40% lot occupancy for all other structures (20% lot occupancy for public recreation and community centers); and a maximum height of three (3) stories/forty (40) feet (60 feet for churches and schools and 45 feet for public recreation and community centers). Conversions of existing buildings to apartments are permitted for lots with a minimum lot area of 900 square feet per dwelling unit. Rear yard requirement is twenty (20) feet.

DCMR 11-403 Percentage of Lot Occupancy

403.2 *No structure, including its accessory building, shall occupy its lot in excess of the percentage of lot occupancy set forth in the following table:*

ONE DISTRICT AND STRUCTURE	MAXIMUM PERCENTAGE OF LOT OCCUPANCY
R-4 <i>Conversion of a building or structure to an apartment house</i>	<i>Greater of 60% or the lot occupancy as of the date of conversion</i>

ANALYSIS: The DC Zoning Regulation (DCMR 11) indicates a Maximum Lot Occupancy requirement of 60% for the Project. The existing Lot Size = 3,126 SF. The lot occupancy calculations for the various Permit Set drawings, are as follows:

Revised Sheet C1 of the May 2015 Permit Set drawings:

- primary structure, covered rear deck & covered side atrium: (20 FT x 87.5 FT) = 1750 SF
- covered front porch: 19.5 FT x 8 FT = 156 SF
- covered rear stairway: 6 FT x 9 FT = 54 SF
- Total Area of Lot Occupancy = **1960 SF**
- Total Area of Existing Lot = **3126 SF**

- Percentage of Lot Occupancy (proposed) = $1960/3126\%$ = **62.70%**

Sheet A4 of the May 2015 Permit Set drawings:

- primary structure, covered rear deck & covered side atrium: (20 FT x 83 FT) = 1660 SF
- covered front porch: 19.5 FT x 8 FT = 156 SF
- covered rear stairway: 6 FT x 9 FT = 54 SF
- Total Area of Lot Occupancy = **1870 SF**
- Total Area of Existing Lot = **3126 SF**
- Percentage of Lot Occupancy (proposed) = $1870/3126\%$ = **59.82%**

Revised Permit Set drawings (October 2015):

- primary structure: (20 FT x 55 FT) + (14 FT x 22.42 FT) = 1,413.88 SF
- covered rear deck: 14 FT x 9 FT = 126 SF
- covered side atrium: 31.21 FT x 6 FT = 187.26 SF
- covered rear stairway: 6 FT x 9 FT = 54 SF
- Total Area of Lot Occupancy = **1, 781.14 SF**
- Total Area of Existing Lot = **3,126 SF**
- Percentage of Lot Occupancy (proposed) = $1781.14/3126\%$ = **56.97%**

DCMR 11-412 Pervious Surface

412.4 Except as required in § 412.3 for public recreation and community centers or as otherwise required by this title, in the R-4 zone a minimum pervious surface requirement for structures other than those listed in § 412.2 shall be based on lot size as set forth in the following table:

MINIMUM LOT SIZE	MINIMUM PERCENTAGE OF PERVIOUS SURFACE
Less than 1,800 square feet	0%
1,801 to 2,000 square feet	10%
Larger than 2000 square feet	20%

412.5 The percent of pervious surface area shall be calculated by dividing the total area of pervious surfaces on the lot by the total area of the lot.

412.6 Total Area of Pervious Surfaces are to include the following:

- Grass or mulched groundcover
- Permeable pavers or paving that facilitate the infiltration of water into the soil

- *Decks or porches constructed above the surface of the lot that are erected on pier foundations, and that maintain a permeable surface underneath that can facilitate the infiltration of water into the soil.*

ANALYSIS: The minimum percentage of pervious surface of a lot in an R-4 Residence District which is larger than 2,000 square feet, shall be 20 percent. The percentage of pervious surface proposed for the Project, is calculated as follows:

- Grass or mulched groundcover:
 - Front Yard: $(20 \text{ FT} \times 15 \text{ FT}) + (4.5 \text{ FT} \times 4.5 \text{ FT}) = 279.75 \text{ SF}$
 - Covered Side Atrium: $31.21 \text{ FT} \times 6 \text{ FT} = 187.26 \text{ SF}$
 - Rear Yard: $(49.3 \text{ FT} \times 20 \text{ FT}) - (5 \text{ FT} \times 5 \text{ FT}) - (19 \text{ FT} \times 18 \text{ FT}) = 619 \text{ SF}$
 - **Grass or Mulched Groundcover Total Area = 1,086.01 SF**
- Permeable pavers or paving that facilitate the infiltration of water into the soil:
 - None Proposed
- Decks or porches constructed above the surface of the lot that are erected on pier foundations, and that maintain a permeable surface underneath that can facilitate the infiltration of water into the soil:
 - None Proposed

The percentage of pervious surface proposed = $1086.01/3126\% = \mathbf{34.74\%}$.

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Exhibit 13

Residents | Business | Government | Visitors | Education | Online Services | Mayor

DC Home > DCRA Home

Track Status of Building Permit Application

To review the status of an application, enter the Application ID or Property Address below and click find to continue. Please note that the application status is refreshed every night at 3.00 AM so the status you see below reflects the updates from the day before.

Search By:

Enter the Property Address to review Application Status:

St. No.*	St. Name*	St. Suffix*	Quad*	Find
1117	ALLISON	Street	NW	

Application Status by Property Address:

Please see the table below for review statuses. The table is not shown if the reviews have not been identified. A blank Status date means that the initial review has not been completed.

Application ID	Review Date	Full Address	Agent Name	Phone Number	
B1600488	10/13/2015	1117 ALLISON ST NW			
Discipline	Review Status	Status Date	Review Comment	Reviewer Name	Reviewer Email
Zoning Review					
Fire Review					
B1505734	3/26/2015	1117 ALLISON ST NW			
Discipline	Review Status	Review Comment	Reviewer Name	Reviewer Email	
Zoning Review	Zoning Review Approved - WC	03/27/2015	approval of revision to b1409828 that eliminates the 3rd floor, to result in a 3 unit apt bldg on a 3126 sqft lot, with two stories and cellar levels.	Matthew LeGrant	matthew.legrant@dc.gov
Zoning Review	Plans Checked Out	03/27/2015	plans and application have been placed with matt legrant, for zoning review.	Nicole Rice	nicole.rice@dc.gov
Zoning Review	Zoning Review Approved - WC	05/22/2015	approval to eliminate the 3rd floor, to result in a 3 unit apt bldg on a 3126 sqft lot, with two stories and cellar levels.	Matthew LeGrant	matthew.legrant@dc.gov
Mechanical Review	Plans Checked Out	03/31/2015	plans and application have been placed with chrys edet for review.	Nicole Rice	nicole.rice@dc.gov
Mechanical Review	Mechanical Review Approved	04/02/2015		Chrys Edet	.chrys.edet@dc.gov
Electrical Review	Electrical Review - HFC	03/30/2015	submit approved electrical plans of permitted (b1409828) to compare and review please	Shahadat Suhrawardy	shahadat.suhrawardy@dc.gov
Electrical Review	Plans Checked Out	03/30/2015	plans and application have been placed with mr. shah for electrical review.	Nicole Rice	nicole.rice@dc.gov



**Subject Property to the left, 1115 Allison to the right
(with tape measure)**

Exhibit 14



**Subject Property to the left, 1115 Allison to the right
(with tape measure)**

Exhibit 15



**Subject Property to the left, 1115 Allison to the right
(comparing depth of porches)**

Exhibit 16



Subject Property to the left, 1115 Allison to the right

Exhibit 17